



SEDGWICK COUNTY, KANSAS
DIVISION OF FINANCE
Purchasing Department
525 N. Main, Suite 823 ~ Wichita, KS 67203

Phone: 316 660-7255 Fax: 316 383-7055
<http://sedgwickcounty.org/finance/purchasing.asp>

REQUEST FOR PROPOSAL
#13-0083
CUSTODIAL SERVICES

ADDENDUM #5

September 23, 2013

The following is to ensure that vendors have complete information prior to submitting a proposal. Here are some clarifications regarding the proposal for Custodial Services for various County facilities.

Questions and/or statements of clarification are in **bold** font, answers to specific questions are *italicized*.

1. What specifics are required in drug screening?

Answer: The drug screening shall be a Five (5) panel pre-employment drug screen.

2. What is the Sedgwick County's modified version of the APPA five levels of cleanliness? (Page 15, Section 5)

Answer: The APPA's five (5) levels of cleanliness were modified to encompass a level of cleaning that matches the type of custodial service requested for each facility. For example, Service Type A would be at a different level than Service Type B.

3. Revised: Performance Bond, page 18, section 8.3.

A Performance Bond in the amount of 100% of the contract amount (covering a period of one year) will be required at the time of contract signing, as well as proof of any insurance documents required herein.

4. Add: Juvenile Court DA Building Information Sheet, Vendor is to collect recyclables from individual desks, placing recyclables in a big container for the County to pick-up. Pick up is on Wednesdays each week.

5. Revised: Service Type Identification Plan:

Main Courthouse 4th and 5th Floor Plan, Legend: Service Type E is used.

6. Revised: Address on building information sheets for Juvenile Court and Juvenile DA.

1900 E. Morris, for both facilities

7. Building Information Sheets and site floor plans. Addendum 5 includes revised:

- Adult Intensive Supervision (AISP)
- COMCARE Center City
- COMCARE (CIS)
- COMCARE (ATS)
- COMCARE CSS MED
- COMCARE CSS
- COMCARE SCOAP
- COMCARE Administration
- COMCARE CDDO

RFB #13-0083

Sedgwick County... Working for you

- Offender Registration Unit
- Department of Housing
- Drug Court
- Appraiser's Office
- Juvenile Field Services
- Forensic Science Center
- Health Department, 2716 W. Central
- Health Department, 434 N. Oliver, Suite 110

Addendum 6 to be issued September 24, 2013 and include:

Remaining building information sheets and site floor plans for the Adult Residential and Adult Service Center.
Service Type Descriptions, A, B, C, D, and E
Revised Table 1.A, contract Groups 1, 2 and 3 and Page 23.

Information and Questions must be submitted in writing by 12:00 PM CST, September 25, 2013. Firms interested in submitting a proposal, must respond with complete information and all supplementary materials and **deliver on or before 1:45 p.m. (CDT), Tuesday, October 8, 2013**. Late proposals will not be accepted and will not receive consideration for final award.

Vendors are responsible for checking the website and **acknowledging any addendum on the proposal response form**.



Gunda Angelica
Purchasing Agent

BUILDING INFORMATION SHEET

1	<u>BUILDING DATA:</u>	Date:	2013, FALL
	• Name and building number:	ADULT INTENSIVE SUPERVISION (AISP)	
	• Location:	905 N. MAIN	
	• Number of Stories:	Main Floor + Basement	
	• Normal Business Operation Hours:	M & W: 7:00 AM - 6:30 PM	
		T, TH & F: 7:00 AM - 5:00 PM	
	• Population:	41 STAFF/ AVG 140 DAILY GUESTS	
2	<u>BUILDING STATISTICS</u>	<u>Approximate</u>	
	• MAIN FLOOR	7,750	
	• BASEMENT	5,150	
		<u>APPROXIMATE CLEANABLE SQ FT</u>	<u>12,900</u>
3	<u>CLEANABLE SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	10,550	
	• Non-Carpet, RUBBER	225	
	• Non-Carpet, Tile	2,125	
		<u>TOTAL CLEANABLE SQ FT</u>	<u>12,900</u>
4	<u>SERVICE TYPE 'E' SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	0	
	• Non-Carpet, Resilient	0	
	• Exterior, Concrete	200	
		<u>TOTAL SERVICE TYPE 'E' SQ FT</u>	<u>200</u>
5	<u>FIXTURE TOTALS</u>	<u>Approximate</u>	
	• Stools / Urinals	10	
	• Sinks or Lavatories / Faucets	9	
	• Drinking Fountains	3	
	• Mop sinks and Faucets	1	
6	<u>ACCESS</u>		
	• Arrangements for Daily cleaning:	Info identified when contract awarded	
	• Arrangements for Weekend Cleaning:	Info identified when contract awarded	
	• County contact person for after hour emergency:	Info identified when contract awarded	
7	<u>PROVISIONS</u>		
	• Furniture shown as reference on plans, field verify actual.		
	• Square feet listed is estimate, vendor to field verify actual.		
	• Entries and Lobbies: Additional clean required at different times of the year due to weather related debris.		
8	<u>PERIODIC SERVICE SCHEDULE</u>		
	• <i>MEDIUM USE</i> with the exception to service type 'E' areas		
	• Service Type 'E' as noted.		

SERVICE TYPE IDENTIFICATION PLAN

CUSTODIAL CONTRACT: RFP 13-0083

DATE: 2013, FALL

MAIN FLOOR LEVEL BUILDING INFORMATION

FLOOR CARE:	APPROXIMATE
CARPET:	6,200 SQ FT
NON-CARPET, RESILIENT:	175 SQ FT
NON-CARPET, TILE:	1,375 SQ FT

TOTAL CLEANABLE SQ FT 7,750 SQ FT

TOTAL SERVICE TYPE 'E' SQ FT 0 SQ FT

NUMBER OF FIXTURES:	APPROXIMATE
STOOL /URINAL	4 TOTAL
LAVATORIES	2 TOTAL
SINKS	1 TOTAL
MOP SINK	1 TOTAL
DRINKING FOUNTAIN	2 TOTAL

LEGEND

- SERVICE TYPE A
- SERVICE TYPE B
- SERVICE TYPE C (NOT USED)
- SERVICE TYPE D
- SERVICE TYPE E (NOT USED)
- CUSTODIAL NO WORK.



ADULT INTENSIVE SUPERVISION (AISP) – MAIN FLOOR
NOT TO SCALE



SERVICE TYPE IDENTIFICATION PLAN

CUSTODIAL CONTRACT: RFP 13-0083

DATE: 2013, FALL

BASEMENT LEVEL BUILDING INFORMATION

FLOOR CARE:	APPROXIMATE
CARPET:	4,350 SQ FT
NON-CARPET, RESILIENT:	50 SQ FT
NON-CARPET, TILE:	750 SQ FT

TOTAL CLEANABLE SQ FT 5,100 SQ FT

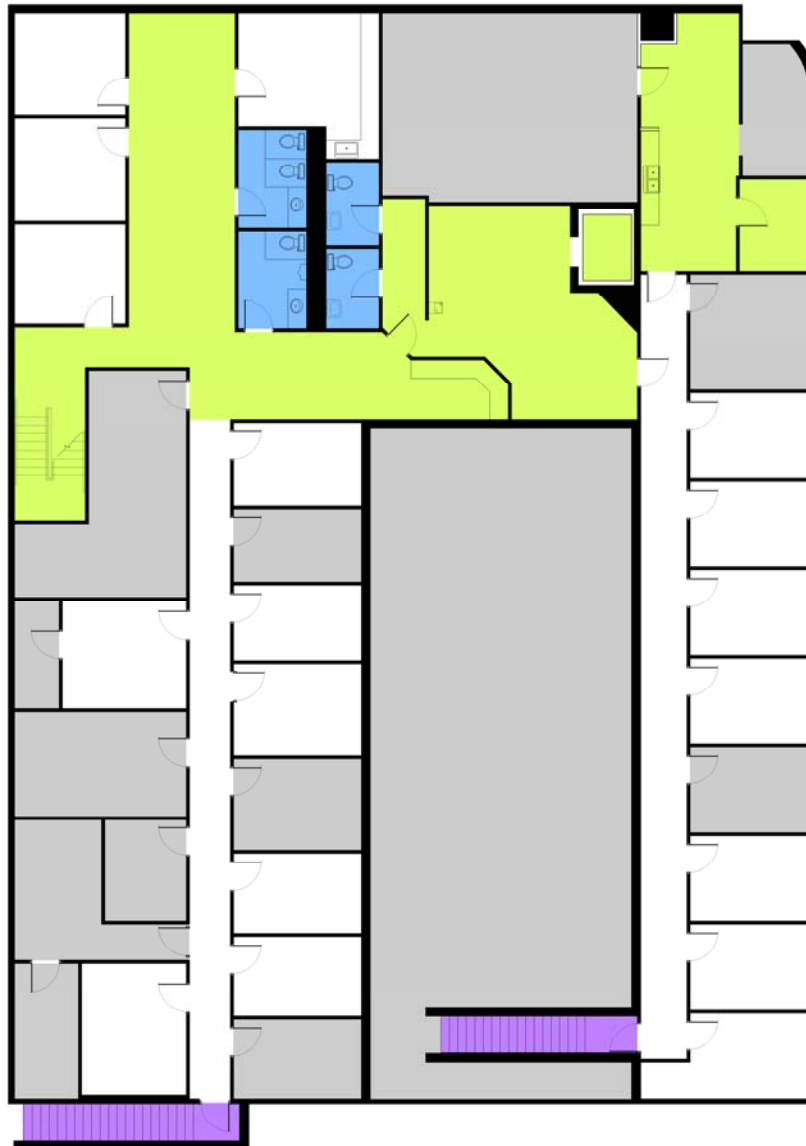
FLOOR CARE: SERVICE TYPE 'E'	APPROXIMATE
EXTERIOR CONCRETE:	200SQ FT

TOTAL SERVICE TYPE 'E' SQ FT 200 SQ FT

NUMBER OF FIXTURES:	APPROXIMATE
STOOLS/URINAL	6 TOTAL
LAVATORIES	4 TOTAL
SINKS	2 TOTAL
MOP SINK	0 TOTAL
DRINKING FOUNTAIN	1 TOTAL

LEGEND

- SERVICE TYPE A
- SERVICE TYPE B
- SERVICE TYPE C (NOT USED)
- SERVICE TYPE D
- SERVICE TYPE E
- CUSTODIAL NO WORK.



BUILDING INFORMATION SHEET

1	<u>BUILDING DATA:</u>	Date:	2013, FALL
	• Name and building number:	COMCARE, CENTER CITY	
	• Location:	402 E. 2nd	
	• Number of Stories:	Second Floor + First Floor Entry	
	• Normal Business Operation Hours:	M-F: 8:00 AM to 5 :00 PM	
	• Population:	17 STAFF/ AVG ? DAILY GUESTS	
2	<u>BUILDING STATISTICS</u>	<u>Approximate</u>	
	• SECOND FLOOR	7,300	
	• FIRST FLOOR ENTRY	800	
		APPROXIMATE CLEANABLE SQ FT	8,100
3	<u>CLEANABLE SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	7,100	
	• Non-Carpet, Resilient	425	
	• Non-Carpet, Tile	575	
		TOTAL <i>CLEANABLE</i> SQ FT	8,100
4	<u>SERVICE TYPE 'E' SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	0	
	• Non-Carpet, Resilient	0	
	• Non-Carpet, Tile	0	
		TOTAL <i>SERVICE TYPE 'E'</i> SQ FT	0
5	<u>FIXTURE TOTALS</u>	<u>Approximate</u>	
	• Stools / Urinals	5	
	• Sinks or Lavatories / Faucets	5	
	• Drinking Fountains	2	
	• Mop sinks and Faucets	1	
6	<u>ACCESS</u>		
	• Arrangements for Daily cleaning:	Info identified when contract awarded	
	• Arrangements for Weekend Cleaning:	Info identified when contract awarded	
	• County contact person for after hour emergency:	Info identified when contract awarded	
7	<u>PROVISIONS</u>		
	• Furniture shown as reference on plans, field verify actual.		
	• Square feet listed is estimate, vendor to field verify actual.		
	• Service Type 'B' modified: include daily trash and vacuum.		
	• Entries and Lobbies: Additional clean required at different times of the year due to weather related debris.		
8	<u>PERIODIC SERVICE SCHEDULE</u>		
	• <i>MEDIUM USE</i> for all areas		

SERVICE TYPE IDENTIFICATION PLAN

CUSTODIAL CONTRACT: RFP 13-0083

DATE: 2013, FALL

SECOND FLOOR LEVEL BUILDING INFORMATION

FLOOR CARE:	APPROXIMATE
CARPET:	6,425 SQ FT
NON-CARPET, RESILENT:	425 SQ FT
NON-CARPET, TILE:	450 SQ FT

TOTAL CLEANABLE SQ FT 7,300 SQ FT

TOTAL TYPE 'E' SQ FT 0 SQ FT

NUMBER OF FIXTURES:	APPROXIMATE
STOOL /URINAL	5 TOTAL
LAVATORIES	3 TOTAL
SINKS	2 TOTAL
MOP SINK	1 TOTAL
DRINKING FOUNTAIN	2 TOTAL

LEGEND

- SERVICE TYPE A
- SERVICE TYPE B MODIFIED:
INCLUDE TRASH AND VACUUM DAILY
- SERVICE TYPE C (NOT USED)
- SERVICE TYPE D
- SERVICE TYPE E (NOT USED)
- CUSTODIAL NO WORK.



COMCARE CENTER CITY – SECOND FLOOR

NOT TO SCALE



SERVICE TYPE IDENTIFICATION PLAN

CUSTODIAL CONTRACT: RFP 13-0083

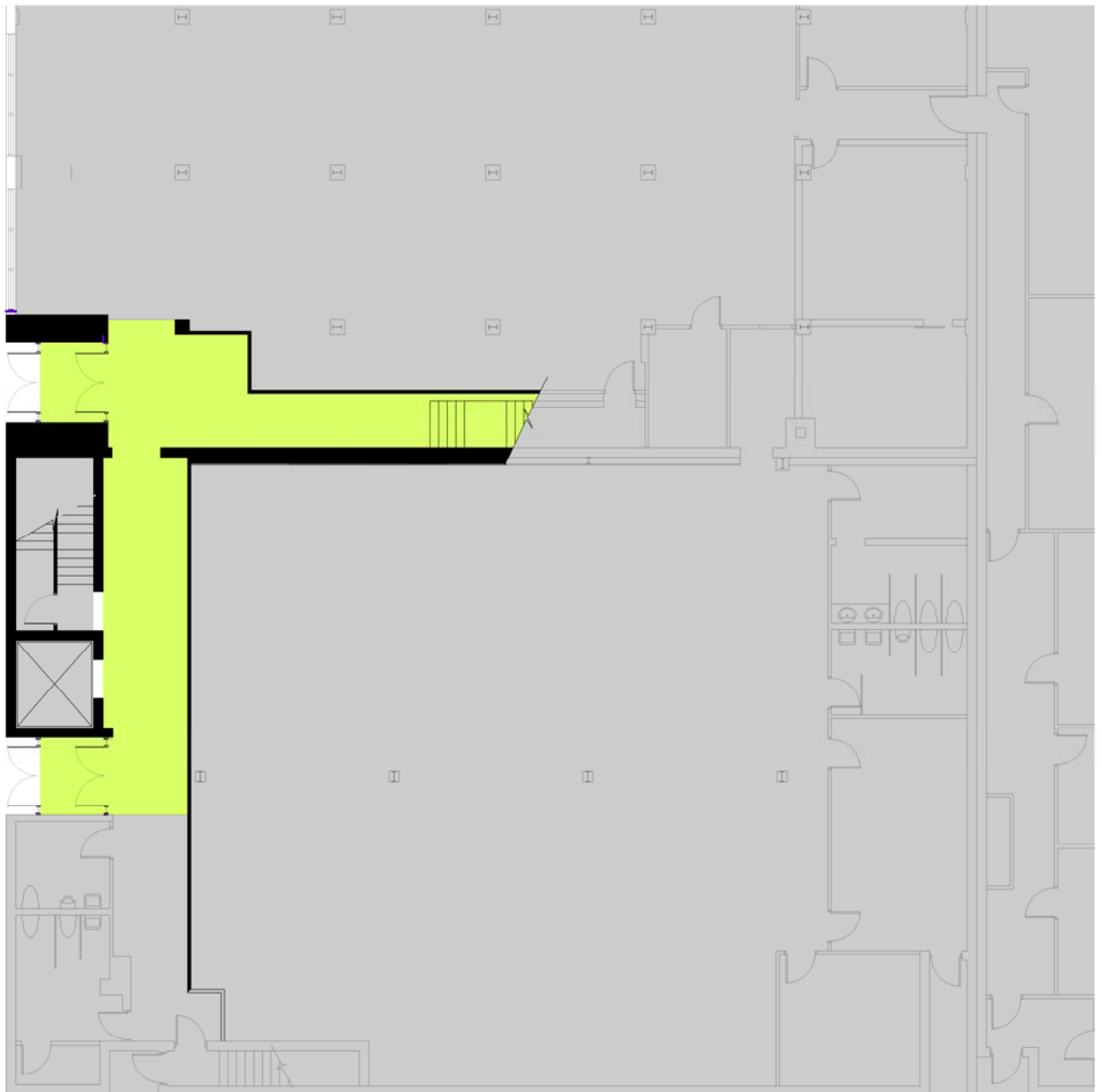
DATE: 2013, FALL

FIRST FLOOR LEVEL BUILDING INFORMATION

FLOOR CARE:	APPROXIMATE
CARPET:	675 SQ FT
NON-CARPET, RESILENT:	0 SQ FT
NON-CARPET, WAXED TILE:	125 SQ FT
TOTAL CLEANABLE SQ FT	800 SQ FT
TOTAL SERVICE TYPE 'E' SQ FT	0 SQ FT
NUMBER OF FIXTURES:	APPROXIMATE
STOOL /URINAL	0 TOTAL
LAVATORIES	0 TOTAL
SINKS	0 TOTAL
MOP SINK	0 TOTAL
DRINKING FOUNTAIN	0 TOTAL

LEGEND

- SERVICE TYPE A
- SERVICE TYPE B
- SERVICE TYPE C (NOT USED)
- SERVICE TYPE D
- SERVICE TYPE E (NOT USED)
- CUSTODIAL NO WORK.



COMCARE CENTER CITY – FIRST FLOOR
NOT TO SCALE



BUILDING INFORMATION SHEET


1	<u>BUILDING DATA:</u>	Date: 2013, FALL
	<ul style="list-style-type: none"> • Name and building number: COMCARE, CRISIS CENTER • Location: 934 N. Water • Number of Stories: Single Story Building • Normal Business Operation Hours: M - Sun: 24 hour Facility Crisis Area M-F: 8:00 AM to 7 :00 PM Office Hours • Population: 54 STAFF/ AVG ? DAILY GUESTS 	
2	<u>BUILDING STATISTICS</u>	<u>Approximate</u>
	<ul style="list-style-type: none"> • MAIN FLOOR 5,500 	
	APPROXIMATE CLEANABLE SQ FT	5,500
3	<u>CLEANABLE SQUARE FEET</u>	<u>Approximate</u>
	<ul style="list-style-type: none"> • Carpet 4,475 • Non-Carpet, Resilient 850 • Non-Carpet, Resilient no wax 175 	
	TOTAL <i>CLEANABLE</i> SQ FT	5,500
4	<u>SERVICE TYPE 'E' SQUARE FEET</u>	<u>Approximate</u>
	<ul style="list-style-type: none"> • Carpet 0 • Non-Carpet, Resilient 0 • Non-Carpet, Tile 0 	
	TOTAL <i>SERVICE TYPE 'E'</i> SQ FT	0
5	<u>FIXTURE TOTALS</u>	<u>Approximate</u>
	<ul style="list-style-type: none"> • Stools / Urinals 5 • Sinks or Lavatories / Faucets 4 • Drinking Fountains 3 • Mop sinks and Faucets 1 	
6	<u>ACCESS</u>	
	<ul style="list-style-type: none"> • Arrangements for Daily cleaning: Info identified when contract awarded • Arrangements for Weekend Cleaning: Info identified when contract awarded • County contact person for after hour emergency: Info identified when contract awarded 	
7	<u>PROVISIONS</u>	
	<ul style="list-style-type: none"> • Furniture shown as reference on plans, field verify actual. • Square feet listed is estimate, vendor to field verify actual. • Service Type 'B' modified to include daily vacuum and trash removal. • Crisis Area shall be vacuumed with push powered vacuum only. • Entries and Lobbies: Additional clean required at different times of the year due to weather related debris. 	
8	<u>PERIODIC SERVICE SCHEDULE</u>	
	<ul style="list-style-type: none"> • <i>MEDIUM USE</i> for entire facility 	

SERVICE TYPE IDENTIFICATION PLAN








CUSTODIAL CONTRACT: RFP 13-0083

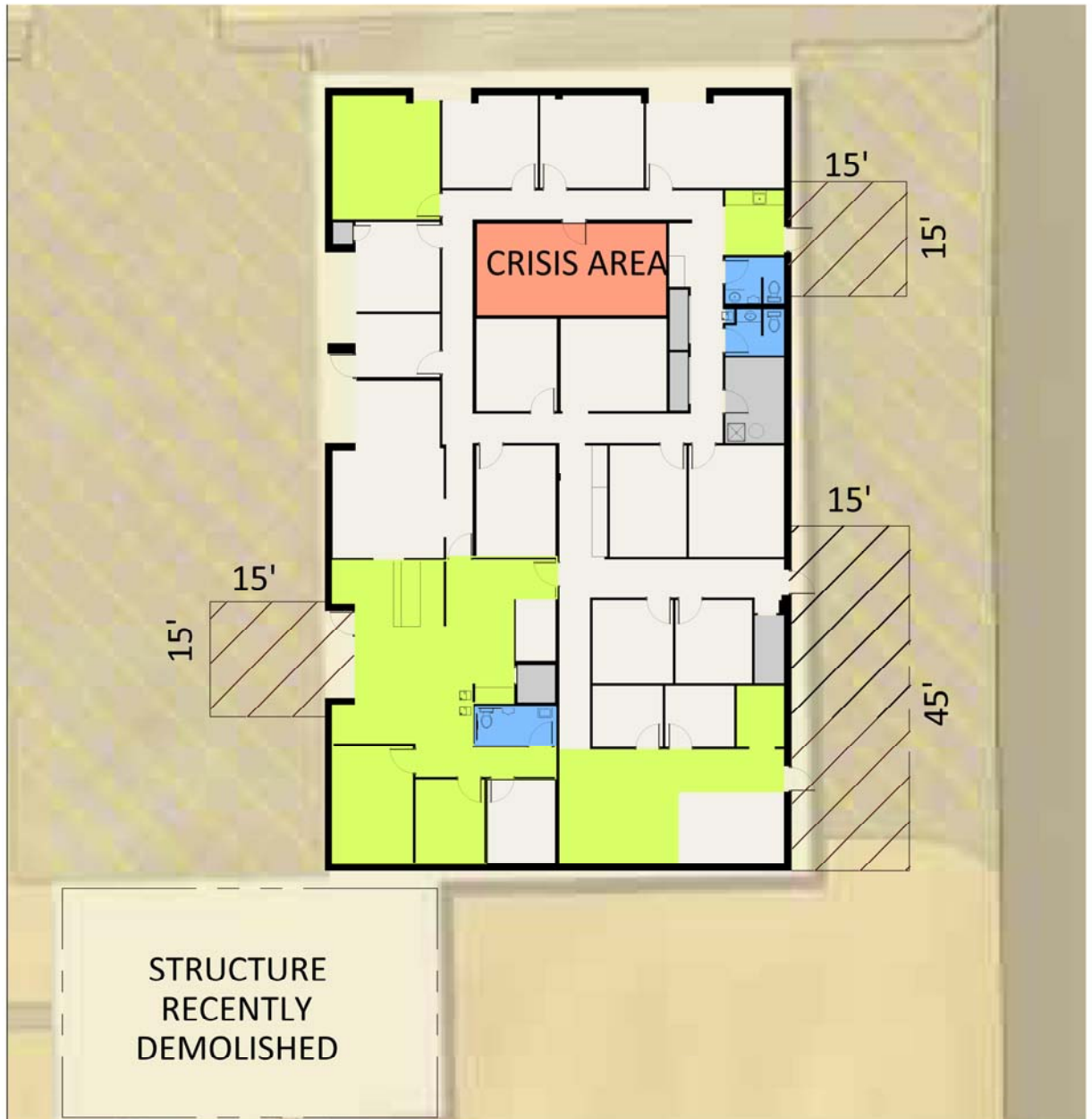
DATE: 2013, FALL

SPECIAL CLEAN

-  SERVICE TYPE B MODIFIED TO INCLUDE TRASH AND VACUUM DAILY. PUSH POWERED VACUUM ONLY. CLEANING MAY BE INTERRUPTED DUE TO CRISIS SITUATIONS.

LEGEND

-  SERVICE TYPE A
-  SERVICE TYPE B MODIFIED: INCLUDE TRASH AND VACUUM DAILY
-  SERVICE TYPE C (NOT USED)
-  SERVICE TYPE D
-  SERVICE TYPE E
-  CUSTODIAL NO WORK.
-  EXTENT OF EXTERIOR WORK



COMCARE CRISIS CENTER
NOT TO SCALE



BUILDING INFORMATION SHEET








1	<u>BUILDING DATA:</u>	Date:	2013, FALL
	• Name and building number:	COMCARE, ADDICTION TREATMENT SERVICES	
	• Location:	940 N. Waco	
	• Number of Stories:	Single Story Building	
	• Normal Business Operation Hours:	M-TH: 8:00 AM to 9 :00 PM	
	•	F: 8:00 AM to 5 :00 PM	
	• Population:	22 STAFF/ AVG. ?DAILY GUESTS	
2	<u>BUILDING STATISTICS</u>	<u>Approximate</u>	
	• MAIN FLOOR	7,975	
		<u>APPROXIMATE CLEANABLE SQ FT</u> 7,975	
3	<u>CLEANABLE SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	3,550	
	• Non-Carpet, Resilient	3,975	
	• Non-Carpet, Tile	450	
		<u>TOTAL <i>CLEANABLE</i> SQ FT</u> 7,975	
4	<u>SERVICE TYPE 'E' SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	125	
	• Non-Carpet, Resilient	150	
	• Non-Carpet, Tile	0	
		<u>TOTAL <i>SERVICE TYPE 'E'</i> SQ FT</u> 275	
5	<u>FIXTURE TOTALS</u>	<u>Approximate</u>	
	• Stools / Urinals	9	
	• Sinks or Lavatories / Faucets	7	
	• Drinking Fountains	1	
	• Mop sinks and Faucets	1	
6	<u>ACCESS</u>		
	• Arrangements for Daily cleaning:	Info identified when contract awarded	
	• Arrangements for Weekend Cleaning:	Info identified when contract awarded	
	• County contact person for after hour emergency:	Info identified when contract awarded	
7	<u>PROVISIONS</u>		
	• Furniture shown as reference on plans, field verify actual.		
	• Square feet listed is estimate, vendor to field verify actual.		
	• Service Type 'B' modified: Include Trash removal and vacuum daily.		
	• Facility report indicates the restrooms do not have floor drains.		
	• Fans to clean weekly		
	• Entries and Lobbies: Additional clean required at different times of the year due to weather related debris.		
8	<u>PERIODIC SERVICE SCHEDULE</u>		
	• <i>MEDIUM USE</i> with the exception to service type 'E' areas		
	• Service Type 'E' as noted.		

SERVICE TYPE IDENTIFICATION PLAN

CUSTODIAL CONTRACT: RFP 13-0083

DATE: 2013, FALL

LEGEND

-  SERVICE TYPE A
-  SERVICE TYPE B MODIFIED:
INCLUDE DAILY TRASH AND VACUUM
-  SERVICE TYPE C (NOT USED)
-  SERVICE TYPE D
-  SERVICE TYPE E
-  CUSTODIAL NO WORK.
-  EXTENT OF EXTERIOR WORK



COMCARE ADDICTION TREATMENT SERVICES (ATS)

NOT TO SCALE



BUILDING INFORMATION SHEET

1	<u>BUILDING DATA:</u>	Date:	2013, FALL
	<ul style="list-style-type: none"> • Name and building number: COMCARE, CSS MED • Location: 1969 W. 21st N. (Twin Lakes Strip Mall) • Number of Stories: Lower Level of Two Story Strip Mall • Normal Business Operation Hours: M-F: 8:00 AM to 5 :00 PM • Population: 22 STAFF/ AVG. ?DAILY GUESTS 		
2	<u>BUILDING STATISTICS</u>	<u>Approximate</u>	
	<ul style="list-style-type: none"> • MAIN FLOOR 4,675 		
	APPROXIMATE CLEANABLE SQ FT	4,675	
3	<u>CLEANABLE SQUARE FEET</u>	<u>Approximate</u>	
	<ul style="list-style-type: none"> • Carpet 4,225 • Non-Carpet, Resilient 0 • Non-Carpet, Tile 450 		
	TOTAL <i>CLEANABLE</i> SQ FT	4,675	
4	<u>SERVICE TYPE 'E' SQUARE FEET</u>	<u>Approximate</u>	
	<ul style="list-style-type: none"> • Carpet 550 • Non-Carpet, Resilient 300 • Non-Carpet, Tile 0 		
	TOTAL <i>SERVICE TYPE 'E'</i> SQ FT	850	
5	<u>FIXTURE TOTALS</u>	<u>Approximate</u>	
	<ul style="list-style-type: none"> • Stools / Urinals 4 • Sinks or Lavatories / Faucets 15 • Shower and Faucet 1 • Drinking Fountains 1 • Mop sinks and Faucets unknown 		
6	<u>ACCESS</u>		
	<ul style="list-style-type: none"> • Arrangements for Daily cleaning: Info identified when contract awarded • Arrangements for Weekend Cleaning: Info identified when contract awarded • County contact person for after hour emergency: Info identified when contract awarded 		
7	<u>PROVISIONS</u>		
	<ul style="list-style-type: none"> • Furniture shown as reference on plans, field verify actual. • Square feet listed is estimate, vendor to field verify actual. • Service Type 'B' modified: Include Trash removal and vacuum daily. • Entries and Lobbies: Additional clean required at different times of the year due to weather related debris. 		
8	<u>PERIODIC SERVICE SCHEDULE</u>		
	<ul style="list-style-type: none"> • <i>MEDIUM USE</i> with the exception to service type 'E' areas • Service Type 'E' as noted. 		

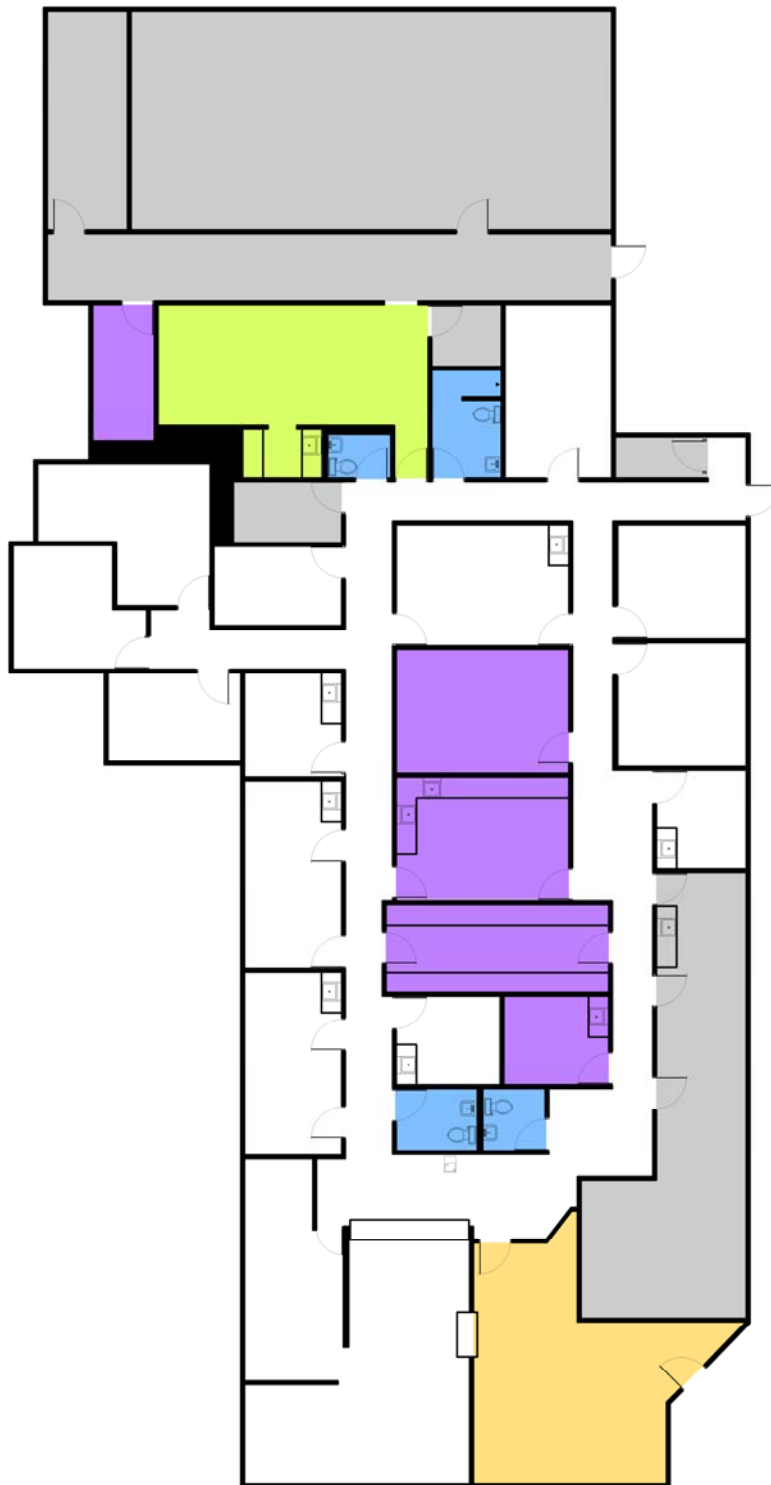
SERVICE TYPE IDENTIFICATION PLAN

CUSTODIAL CONTRACT: RFP 13-0083

DATE: 2013, FALL

LEGEND

- SERVICE TYPE A
- SERVICE TYPE B MODIFIED:
INCLUDE TRASH AND VACUUM DAILY
- SERVICE TYPE C
- SERVICE TYPE D
- SERVICE TYPE E
- CUSTODIAL NO WORK.



COMCARE CSS MED STE 1969

NOT TO SCALE



BUILDING INFORMATION SHEET



1	<u>BUILDING DATA:</u>	Date:	2013, FALL
	<ul style="list-style-type: none"> • Name and building number: COMCARE, CRISIS SOCIAL SERVICE (CSS) • Location: 1929 W. 21st N. (Twin Lakes Strip Mall) • Number of Stories: Lower Level of Two Story Strip Mall • Normal Business Operation Hours: M-F: 8:00 AM to 5 :00 PM • Population: 103 STAFF/ AVG. 200 DAILY GUESTS 		
2	<u>BUILDING STATISTICS</u>	<u>Approximate</u>	
	<ul style="list-style-type: none"> • MAIN FLOOR 17,175 		
	APPROXIMATE CLEANABLE SQ FT	17,175	
3	<u>CLEANABLE SQUARE FEET</u>	<u>Approximate</u>	
	<ul style="list-style-type: none"> • Carpet 10,950 • Non-Carpet, Resilient 5,600 • Non-Carpet, Tile 625 		
	TOTAL <i>CLEANABLE</i> SQ FT	17,175	
4	<u>SERVICE TYPE 'E' SQUARE FEET</u>	<u>Approximate</u>	
	<ul style="list-style-type: none"> • Carpet 0 • Non-Carpet, Resilient 325 • Non-Carpet, Tile 0 		
	TOTAL <i>SERVICE TYPE 'E'</i> SQ FT	325	
5	<u>FIXTURE TOTALS</u>	<u>Approximate</u>	
	<ul style="list-style-type: none"> • Stools / Urinals 17 • Sinks or Lavatories / Faucets 14 • Shower and Faucet 1 • Drinking Fountains 3 • Mop sinks and Faucets unknown 		
6	<u>ACCESS</u>		
	<ul style="list-style-type: none"> • Arrangements for Daily cleaning: Info identified when contract awarded • Arrangements for Weekend Cleaning: Info identified when contract awarded • County contact person for after hour emergency: Info identified when contract awarded 		
7	<u>PROVISIONS</u>		
	<ul style="list-style-type: none"> • Furniture shown as reference on plans, field verify actual. • Square feet listed is estimate, vendor to field verify actual. • Service Type 'B' modified: Include Trash removal and vacuum daily. • Entries and Lobbies: Additional clean required at different times of the year due to weather related debris. 		
8	<u>PERIODIC SERVICE SCHEDULE</u>		
	<ul style="list-style-type: none"> • <i>HEAVY USE</i> in specified areas only: Multipurpose Room, Waiting Room and Multiple User Restrooms • <i>MEDIUM USE</i> in remaining areas with the exception to service type 'E' areas • Service Type 'E' as noted. 		

SERVICE TYPE IDENTIFICATION PLAN








CUSTODIAL CONTRACT: RFP 13-0083

DATE: 2013, FALL

SPECIAL CLEAN NOTE:

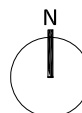
-  SERVICE TYPE A WITH HEAVY USE
-  SERVICE TYPE D WITH HEAVY USE

LEGEND

-  SERVICE TYPE A
-  SERVICE TYPE B MODIFIED:
INCLUDE TRASH AND VACUUM DAILY
-  SERVICE TYPE C (NOT USED)
-  SERVICE TYPE D
-  SERVICE TYPE E
-  CUSTODIAL NO WORK.
-  EXTENT OF EXTERIOR CLEAN



COMCARE CSS STE 1929
NOT TO SCALE



BUILDING INFORMATION SHEET


1	<u>BUILDING DATA:</u>	Date: 2013, FALL
	• Name and building number:	COMCARE, SEDGWICK COUNTY OFFENDER ASSESMENT PROGRAM (SCOAP)
	• Location:	1720 E. MORRIS
	• Number of Stories:	Single Story
	• Normal Business Operation Hours:	M - Sun: 24 hour / 7 day week. Holidays do not apply.
	• Population:	27 STAFF/ AVG. 25 DAILY GUESTS / 12 RESIDENTS
2	<u>BUILDING STATISTICS</u>	<u>Approximate</u>
	• MAIN FLOOR	5,200
	APPROXIMATE CLEANABLE SQ FT	5,200
3	<u>CLEANABLE SQUARE FEET</u>	<u>Approximate</u>
	• Carpet	4,250
	• Non-Carpet, Resilient	850
	• Non-Carpet, Tile	100
	TOTAL CLEANABLE SQ FT	5,200
4	<u>SERVICE TYPE 'E' SQUARE FEET</u>	<u>Approximate</u>
	• Carpet	0
	• Non-Carpet, Resilient	0
	• Non-Carpet, Tile	0
	TOTAL SERVICE TYPE 'E' SQ FT	0
5	<u>FIXTURE TOTALS</u>	<u>Approximate</u>
	• Stools / Urinals	5
	• Sinks or Lavatories / Faucets	7
	• Shower and Faucet	2
	• Drinking Fountains	0
	• Mop sinks and Faucets	0
6	<u>ACCESS</u>	
	• Arrangements for Daily cleaning:	Info identified when contract awarded
	• Arrangements for Weekend Cleaning:	Info identified when contract awarded
	• County contact person for after hour emergency:	Info identified when contract awarded
7	<u>PROVISIONS</u>	
	• Furniture shown as reference on plans, field verify actual.	
	• Square feet listed is estimate, vendor to field verify actual.	
	• Facility report: Clean occurs at 7:00 pm, nightly. Provision taken to reduce noise level if occupant sleeping.	
	• Facility report: Mop sink not available at this site. Use sink in North end, empty in area directed by security.	
	• Special clean note: Custodial staff shall review with security nightly regarding nightly clean.	
	• Special clean note: Sleeping rooms clean if no occupant. If occupant and door open, coordinate clean w/security.	
	• Service Type 'B' modified: Include Trash removal and vacuum daily.	
	• Entries and Lobbies: Additional clean required at different times of the year due to weather related debris.	
8	<u>PERIODIC SERVICE SCHEDULE</u>	
	• <i>MEDIUM USE</i> in all areas	

SERVICE TYPE IDENTIFICATION PLAN








CUSTODIAL CONTRACT: RFP 13-0083

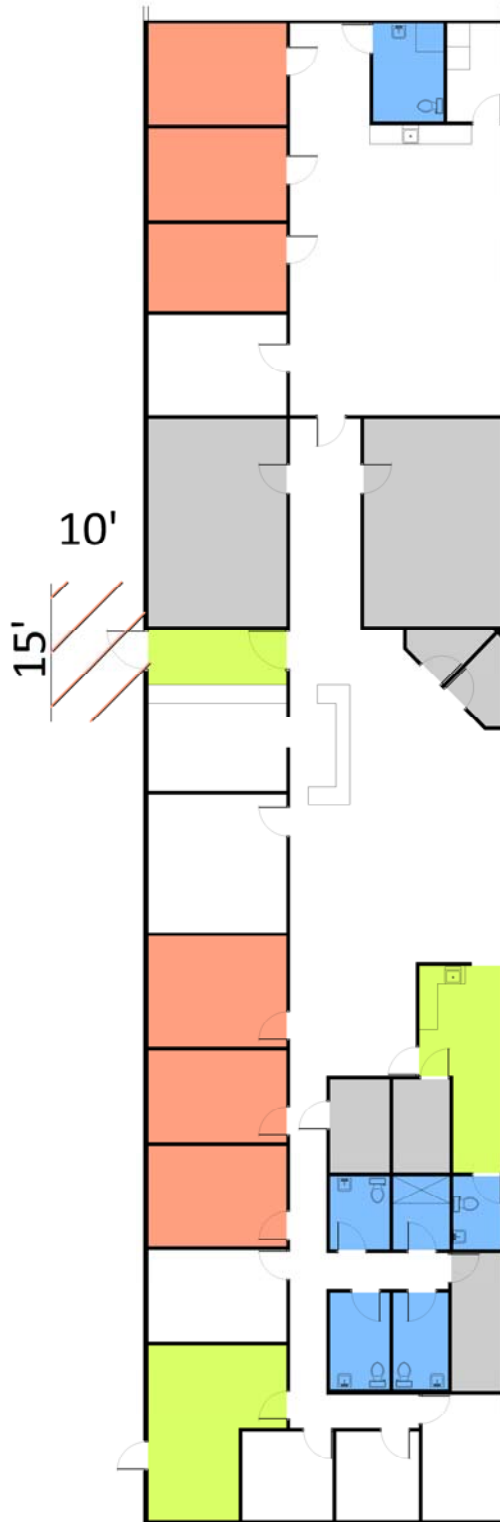
DATE: 2013, FALL

SPECIAL CLEAN NOTE

-  SLEEPING ROOMS
CLEAN ROOM IF NO OCCUPANT.
IF OCCUPANT AND DOOR OPEN,
COORDINATE CLEAN WITH
SECURITY.

LEGEND

-  SERVICE TYPE A
-  SERVICE TYPE B MODIFIED:
INCLUDE TRASH AND VACUUM DAILY
-  SERVICE TYPE C (NOT USED)
-  SERVICE TYPE D
-  SERVICE TYPE E (NOT USED)
-  CUSTODIAL NO WORK.
-  EXTENT OF EXTERIOR CLEAN



COMCARE SCOAP
NOT TO SCALE



BUILDING INFORMATION SHEET







1	<u>BUILDING DATA:</u>	Date:	2013, FALL
	• Name and building number:	COMCARE, ADMINISTRATION	
	• Location:	635 N. Main	
	• Number of Stories:	Single Story	
	• Normal Business Operation Hours:	M - F: 8:00 AM to 5:00 PM	
	• Population:	40 STAFF/ AVG. 75 DAILY GUESTS (50 mtg room + 25 general)	
2	<u>BUILDING STATISTICS</u>	<u>Approximate</u>	
	• MAIN FLOOR	12,950	
		APPROXIMATE CLEANABLE SQ FT 12,950	
3	<u>CLEANABLE SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	11,075	
	• Non-Carpet, Resilient	525	
	• Non-Carpet, Tile	1,075	
	• Non-Carpet, Marble Tile	275	
		TOTAL <i>CLEANABLE</i> SQ FT 12,950	
4	<u>SERVICE TYPE 'E' SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	0	
	• Non-Carpet, Resilient	0	
	• Non-Carpet, Tile	0	
		TOTAL <i>SERVICE TYPE 'E'</i> SQ FT 0	
5	<u>FIXTURE TOTALS</u>	<u>Approximate</u>	
	• Stools / Urinals	15	
	• Sinks or Lavatories / Faucets	13	
	• Shower and Faucet	0	
	• Drinking Fountains	2	
	• Mop sinks and Faucets	1	
6	<u>ACCESS</u>		
	• Arrangements for Daily cleaning:	Info identified when contract awarded	
	• Arrangements for Weekend Cleaning:	Info identified when contract awarded	
	• County contact person for after hour emergency:	Info identified when contract awarded	
7	<u>PROVISIONS</u>		
	• Furniture shown as reference on plans, field verify actual.		
	• Square feet listed is estimate, vendor to field verify actual.		
	• Facility report: Meeting room occupied 2 weekend days per month, no additional custodial clean.		
	• Facility report: Custodial closet has hot water tank, special provision to keep trash away from hot water tank.		
	• Facility report: Shower not used.		
	• Entries and Lobbies: Additional clean required at different times of the year due to weather related debris.		
8	<u>PERIODIC SERVICE SCHEDULE</u>		
	• <i>MEDIUM USE</i> in all areas		

SERVICE TYPE IDENTIFICATION PLAN

CUSTODIAL CONTRACT: RFP 13-0083

DATE: 2013, FALL

LEGEND

-  SERVICE TYPE A
-  SERVICE TYPE B
-  SERVICE TYPE C (NOT USED)
-  SERVICE TYPE D
-  SERVICE TYPE E (NOT USED)
-  CUSTODIAL NO WORK.
-  EXTENT OF EXTERIOR CLEAN.



BUILDING INFORMATION SHEET

1	<u>BUILDING DATA:</u>	Date:	2013, FALL
	• Name and building number:	COMCARE, CDDO	
	• Location:	615 N. Main	
	• Number of Stories:	Two Story Building	
	• Normal Business Operation Hours:	M - F: 8:00 AM to 5:00 PM	
	• Population:	23 STAFF/ AVG. 56 DAILY GUESTS (50 mtg room + 15 general)	
2	<u>BUILDING STATISTICS</u>	<u>Approximate</u>	
	• FIRST FLOOR	4,875	
	• SECOND FLOOR	2,375	
		APPROXIMATE CLEANABLE SQ FT 7,250	
3	<u>CLEANABLE SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	5,625	
	• Non-Carpet, Resilient	0	
	• Non-Carpet, Tile	1,350	
	• Non-Carpet, Concrete	275	
		TOTAL <i>CLEANABLE</i> SQ FT 7,250	
4	<u>SERVICE TYPE 'E' SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	250	
	• Non-Carpet, Resilient	0	
	• Non-Carpet, Tile	75	
		TOTAL <i>SERVICE TYPE 'E'</i> SQ FT 325	
5	<u>FIXTURE TOTALS</u>	<u>Approximate</u>	
	• Stools / Urinals	7	
	• Sinks or Lavatories / Faucets	7	
	• Shower and Faucet	0	
	• Drinking Fountains	2	
	• Mop sinks and Faucets	1	
6	<u>ACCESS</u>		
	• Arrangements for Daily cleaning:	Info identified when contract awarded	
	• Arrangements for Weekend Cleaning:	Info identified when contract awarded	1
	• County contact person for after hour emergency:	Info identified when contract awarded	
7	<u>PROVISIONS</u>		
	• Furniture shown as reference on plans, field verify actual.		
	• Square feet listed is estimate, vendor to field verify actual.		
	• Special Clean note: Antique pendant lights. Special provisions on clean. Building on Historic Registry		
	• Facility report: Shower not used.		
	• Entries and Lobbies: Additional clean required at different times of the year due to weather related debris.		
8	<u>PERIODIC SERVICE SCHEDULE</u>		
	• <i>MEDIUM USE</i> in all areas		

SERVICE TYPE IDENTIFICATION PLAN

CUSTODIAL CONTRACT: RFP 13-0083

DATE: 2013, FALL

FIRST FLOOR LEVEL BUILDING INFORMATION

FLOOR CARE:	APPROXIMATE
CARPET:	3,500 SQ FT
NON-CARPET, CONCRETE:	150 SQ FT
NON-CARPET, TILE:	1,225 SQ FT

TOTAL CLEANABLE SQ FT 4,875 SQ FT

FLOOR CARE: SERVICE TYPE 'E'	APPROXIMATE
NON- CARPET, TILE	75 SQ FT

TOTAL SERVICE TYPE 'E' SQ FT 75 SQ FT

NUMBER OF FIXTURES:	APPROXIMATE
STOOL/URINAL	6 TOTAL
LAVATORIES	4 TOTAL
SINKS	2 TOTAL
MOP SINK	1 TOTAL
DRINKING FOUNTAIN	2 TOTAL

LEGEND

- SERVICE TYPE A
- SERVICE TYPE B
- SERVICE TYPE C (NOT USED)
- SERVICE TYPE D
- SERVICE TYPE E (NOT USED)
- CUSTODIAL NO WORK.
- EXTENT OF EXTERIOR CLEAN



COMCARE CDDO – FIRST FLOOR
NOT TO SCALE



SERVICE TYPE IDENTIFICATION PLAN

CUSTODIAL CONTRACT: RFP 13-0083

DATE: 2013, FALL

SECOND FLOOR LEVEL BUILDING INFORMATION

FLOOR CARE:	APPROXIMATE
CARPET:	2,125 SQ FT
NON-CARPET, CONCRETE:	125 SQ FT
NON-CARPET, TILE:	125 SQ FT







TOTAL CLEANABLE SQ FT 2,375 SQ FT

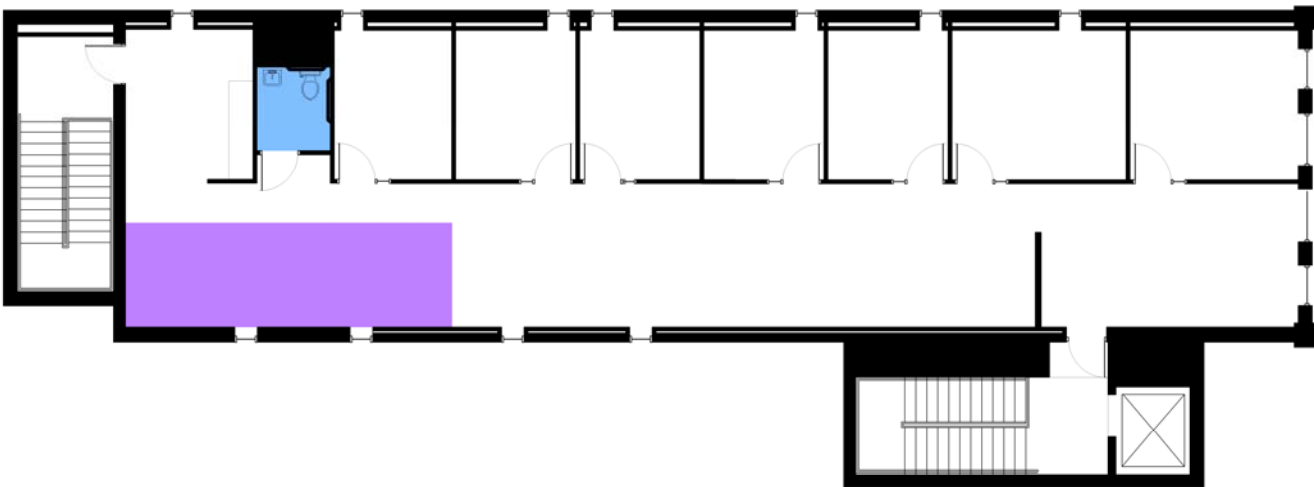
FLOOR CARE: SERVICE TYPE 'E'	APPROXIMATE
CARPET:	250 SQ FT

TOTAL SERVICE TYPE 'E' SQ FT 250 SQ FT

NUMBER OF FIXTURES:	APPROXIMATE
STOOL/URINAL	1 TOTAL
LAVATORIES	1 TOTAL
SINKS	0 TOTAL
MOP SINK	0 TOTAL
DRINKING FOUNTAIN	0 TOTAL

LEGEND

-  SERVICE TYPE A (NOT USED)
-  SERVICE TYPE B
-  SERVICE TYPE C (NOT USED)
-  SERVICE TYPE D
-  SERVICE TYPE E
-  CUSTODIAL NO WORK.



COMCARE CDDO - SECOND FLOOR

NOT TO SCALE



BUILDING INFORMATION SHEET







1	<u>BUILDING DATA:</u>	Date: 2013, FALL
	• Name and building number: DEPARTMENT OF HOUSING	
	• Location: 3825 E. Harry Suite	
	• Number of Stories: Single Story	
	• Normal Business Operation Hours: M - F: 8:00 AM to 5:00 PM	
	• Population: 5 STAFF/ AVG. 10 DAILY GUESTS (150 3RD TUE EA MONTH)	
	Conference 50 : 6 times year	
2	<u>BUILDING STATISTICS</u>	<u>Approximate</u>
	• MAIN FLOOR	3,050
	APPROXIMATE CLEANABLE SQ FT	3,050
3	<u>CLEANABLE SQUARE FEET</u>	<u>Approximate</u>
	• Carpet	2,875
	• Non-Carpet, Resilient	100
	• Non-Carpet, Tile	75
	TOTAL CLEANABLE SQ FT	3,050
4	<u>SERVICE TYPE 'E' SQUARE FEET</u>	<u>Approximate</u>
	• Carpet	0
	• Non-Carpet, Tile	0
	• Non-Carpet, sealed concrete	0
	TOTAL SERVICE TYPE 'E' SQ FT	0
5	<u>FIXTURE TOTALS</u>	<u>Approximate</u>
	• Stools / Urinals	1
	• Sinks or Lavatories / Faucets	2
	• Shower and Faucet	0
	• Drinking Fountains	0
	• Mop sinks and Faucets	0
6	<u>ACCESS</u>	
	• Arrangements for Daily cleaning: Info identified when contract awarded	
	• Arrangements for Weekend Cleaning: Info identified when contract awarded	
	• County contact person for after hour emergency: Info identified when contract awarded	
7	<u>PROVISIONS</u>	
	• Furniture shown as reference on plans, field verify actual.	
	• Square feet listed is estimate, vendor to field verify actual.	
	• Entries and Lobbies: Additional clean required at different times of the year due to weather related debris	
	• Facility Report: No Mop sink available.	
	• Exterior work not included in scope of work.	
8	<u>PERIODIC SERVICE SCHEDULE</u>	
	• <i>MEDIUM USE</i> in all areas	

SERVICE TYPE IDENTIFICATION PLAN

CUSTODIAL CONTRACT: RFP 13-0083

DATE: 2013, FALL

LEGEND

-  SERVICE TYPE A
-  SERVICE TYPE B
-  SERVICE TYPE C (NOT USED)
-  SERVICE TYPE D
-  SERVICE TYPE E
-  CUSTODIAL NO WORK.



BUILDING INFORMATION SHEET

1	<u>BUILDING DATA:</u>	Date:	2013, FALL
	• Name and building number:	DRUG COURT	
	• Location:	3803 E. Harry Suite 121	
	• Number of Stories:	Single Story	
	• Normal Business Operation Hours:	M - F: 7:30 AM to 9:00 PM	
	• Population:	22 STAFF/ AVG. 100 DAILY GUESTS	
2	<u>BUILDING STATISTICS</u>	<u>Approximate</u>	
	• MAIN FLOOR	9,700	
	APPROXIMATE CLEANABLE SQ FT	9,700	
3	<u>CLEANABLE SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	5,425	
	• Non-Carpet, Tile	775	
	• Non-Carpet, Polished Concrete	3,500	
	TOTAL <i>CLEANABLE</i> SQ FT	9,700	
4	<u>SERVICE TYPE 'E' SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	0	
	• Non-Carpet, Tile	0	
	• Non-Carpet, sealed concrete	900	
	TOTAL <i>SERVICE TYPE 'E'</i> SQ FT	900	
5	<u>FIXTURE TOTALS</u>	<u>Approximate</u>	
	• Stools / Urinals	15	
	• Sinks or Lavatories / Faucets	9	
	• Shower and Faucet	0	
	• Drinking Fountains	1	
	• Mop sinks and Faucets	1	
6	<u>ACCESS</u>		
	• Arrangements for Daily cleaning:	Info identified when contract awarded	
	• Arrangements for Weekend Cleaning:	Info identified when contract awarded	
	• County contact person for after hour emergency:	Info identified when contract awarded	
7	<u>PROVISIONS</u>		
	• Furniture shown as reference on plans, field verify actual.		
	• Square feet listed is estimate, vendor to field verify actual.		
	• Exterior work not included in scope of work.		
	• Service Type 'B' modified to include daily trash removal and vacuum.		
	• Recycle by County office, not vendor		
8	<u>PERIODIC SERVICE SCHEDULE</u>		
	• <i>MEDIUM USE</i> in all areas		

BUILDING INFORMATION SHEET

1	<u>BUILDING DATA:</u>	Date:	2013, FALL
	• Name and building number:	OFFENDER'S REGISTRATION UNIT (ORU)	
	• Location:	3803 E. Harry Suite 119	
	• Number of Stories:	Single Story	
	• Normal Business Operation Hours:	M - F: 9:00 AM to 4:00 PM	
	• Population:	6 STAFF/ AVG. 40 DAILY GUESTS (150 ONE DAY PER MONTH)	
2	<u>BUILDING STATISTICS</u>	<u>Approximate</u>	
	• MAIN FLOOR	2,500	
	APPROXIMATE CLEANABLE SQ FT	2,500	
3	<u>CLEANABLE SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	2,075	
	• Non-Carpet, Resilient	0	
	• Non-Carpet, Tile	425	
	TOTAL CLEANABLE SQ FT	2,500	
4	<u>SERVICE TYPE 'E' SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	0	
	• Non-Carpet, Tile	0	
	• Non-Carpet, sealed concrete	0	
	TOTAL SERVICE TYPE 'E' SQ FT	0	
5	<u>FIXTURE TOTALS</u>	<u>Approximate</u>	
	• Stools / Urinals	0	
	• Sinks or Lavatories / Faucets	1	
	• Shower and Faucet	0	
	• Drinking Fountains	0	
	• Mop sinks and Faucets	0	
6	<u>ACCESS</u>		
	• Arrangements for Daily cleaning:	Info identified when contract awarded	
	• Arrangements for Weekend Cleaning:	Info identified when contract awarded	
	• County contact person for after hour emergency:	Info identified when contract awarded	
7	<u>PROVISIONS</u>		
	• Furniture shown as reference on plans, field verify actual.		
	• Square feet listed is estimate, vendor to field verify actual.		
	• Facility Report: No Mop sink available.		
	• Wednesday, preferred day for custodial clean. Clean to occur between 8 to 9 am and/or 4 to 5 pm		
	• Exterior work not included in scope of work.		
	• Service Type 'B' modified to include daily trash removal and vacuum.		
	• Recycle by County office, not vendor		
8	<u>PERIODIC SERVICE SCHEDULE</u>		
	• <i>MEDIUM USE</i> in all areas		


SERVICE TYPE IDENTIFICATION PLAN

SPECIAL CLEAN AREA

ORU: CLEANING TO OCCUR ON WEDNESDAY, BETWEEN 8 AND 9AM AND/OR 4 AND 5 PM ONLY.

1 WEEKEND PER MONTH OPEN 9-1, NO ADDITIONAL CLEAN HOURS.

LAST DAY OF EACH MONTH, GUEST NUMBER INCREASES TO 150. NO ADDITIONAL CLEAN HOURS.

 SERVICE TYPE B MODIFIED
INCLUDE DAILY TRASH AND VACUUM







EXTERIOR

EXTERIOR SERVICE OMITTED FROM THESE FACILITIES

CUSTODIAL CONTRACT: RFP 13-0083

DATE: 2013, FALL

LEGEND

-  SERVICE TYPE A
-  SERVICE TYPE B MODIFIED:
INCLUDE DAILY TRASH AND VACUUM
-  SERVICE TYPE C (NOT USED)
-  SERVICE TYPE D
-  SERVICE TYPE E
-  CUSTODIAL NO WORK.



DRUG COURT

OFFENDER'S REGISTRATION UNIT

DRUG COURT AND OFFENDER'S REGISTRATION UNIT (ORU)

NOT TO SCALE



BUILDING INFORMATION SHEET

1	<u>BUILDING DATA:</u>	Date: 2013, FALL
	• Name and building number:	APPRAISER'S OFFICE
	• Location:	4035 E. Harry
	• Number of Stories:	Single Story + Mezzanine Level
	• Normal Business Operation Hours:	M - F: 6:00 AM to 6:00 PM
	• Population:	65 STAFF/ AVG. 30 DAILY GUESTS (150 during hearings daily)
2	<u>BUILDING STATISTICS</u>	<u>Approximate</u>
	• MAIN FLOOR	18,250
	• MEZZANINE LEVEL	400
		APPROXIMATE CLEANABLE SQ FT 18,650
3	<u>CLEANABLE SQUARE FEET</u>	<u>Approximate</u>
	• Carpet	16,925
	• Non-Carpet, Resilient	875
	• Non-Carpet, Tile	850
		TOTAL <i>CLEANABLE</i> SQ FT 18,650
4	<u>SERVICE TYPE 'E' SQUARE FEET</u>	<u>Approximate</u>
	• Carpet	625
	• Non-Carpet, Resilient	175
	• Non-Carpet, No finished flooring	1,600
		TOTAL <i>SERVICE TYPE 'E'</i> SQ FT 2,400
5	<u>FIXTURE TOTALS</u>	<u>Approximate</u>
	• Stools / Urinals	13
	• Sinks or Lavatories / Faucets	9
	• Shower and Faucet	0
	• Drinking Fountains	2
	• Mop sinks and Faucets	1
6	<u>ACCESS</u>	
	• Arrangements for Daily cleaning:	Info identified when contract awarded
	• Arrangements for Weekend Cleaning:	Info identified when contract awarded
	• County contact person for after hour emergency:	Info identified when contract awarded
7	<u>PROVISIONS</u>	
	• Furniture shown as reference on plans, field verify actual.	
	• Square feet listed is estimate, vendor to field verify actual.	
	• Ceiling care in areas out of custodial's specified range are by others. Remaining ceiling care by Custodial.	
	• Entries and Lobbies: Additional clean required at different times of the year due to weather related debris	
	• Service Type 'B' modified to include daily trash removal and vacuum.	
	• Exterior work not included in scope of work.	
8	<u>PERIODIC SERVICE SCHEDULE</u>	
	• <i>MEDIUM USE</i> in all areas	
9	<u>HEARING SCHEDULE</u>	
	• ANNUAL: March 1st to May 10th	
	• ANNUAL: One week. Last week in June	
	• ANNUAL: One day. Last Wednesday of every Month.	

SERVICE TYPE IDENTIFICATION PLAN

CUSTODIAL CONTRACT: RFP 13-0083

DATE: 2013, FALL

SPECIAL CLEAN AREA

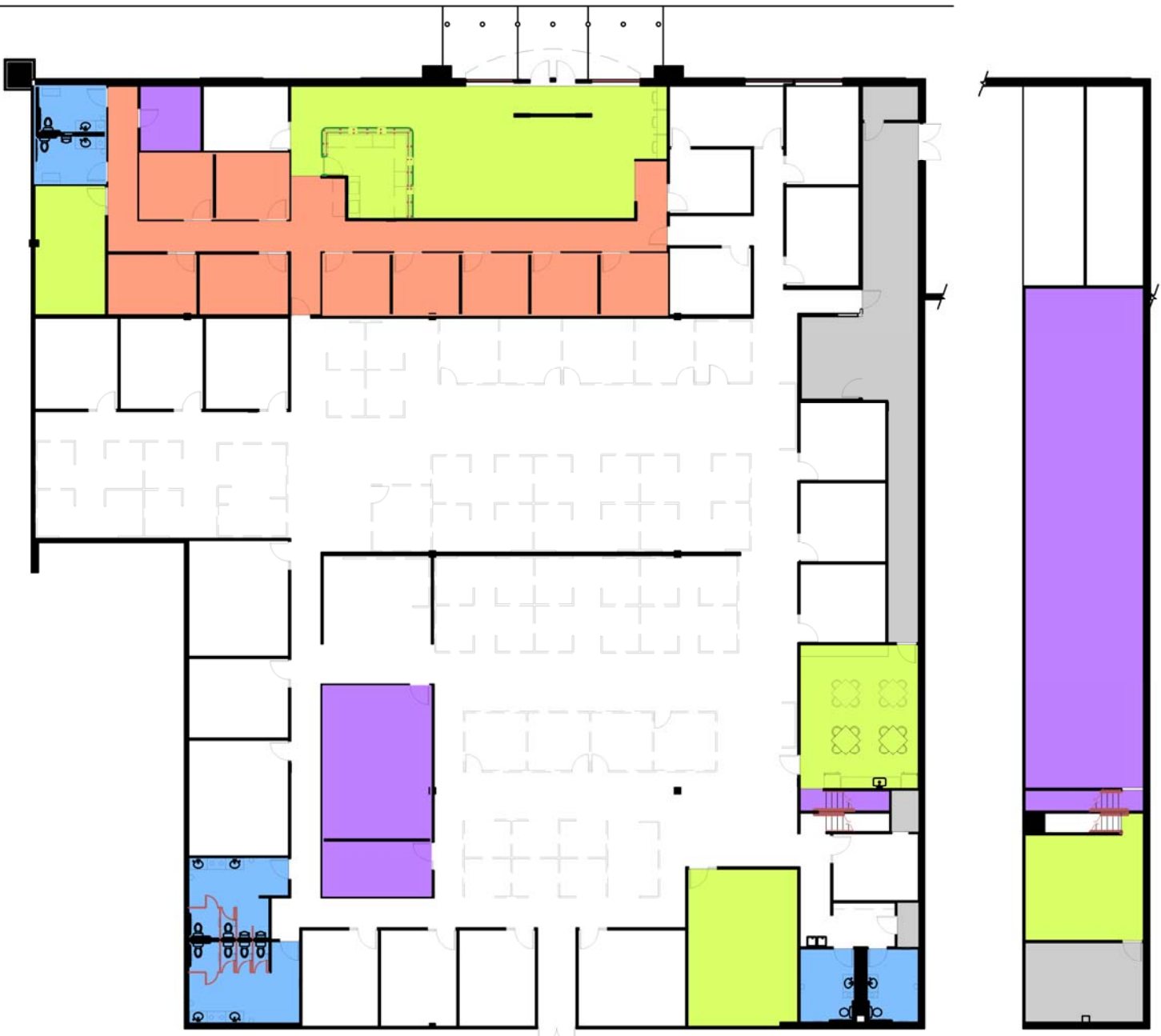
SERVICE TYPE E TYPICALLY.
SERVICE TYPE B DURING HEARINGS.

EXTERIOR

EXTERIOR SERVICE OMITTED FROM
THIS FACILITY.

LEGEND

- SERVICE TYPE A
- SERVICE TYPE B MODIFIED
INCLUDE DAILY TRASH AND VACUUM
- SERVICE TYPE C (NOT USED)
- SERVICE TYPE D
- SERVICE TYPE E
- CUSTODIAL NO WORK.



MAIN FLOOR LEVEL

APPRAISER'S OFFICE

NOT TO SCALE



MEZZANINE LEVEL

BUILDING INFORMATION SHEET

1	<u>BUILDING DATA:</u>	Date: 2013, FALL
	• Name and building number: JUVENILE FIELD SERVICES	
	• Location: 3803 E. Harry Suite 125	
	• Number of Stories: Single Story	
	• Normal Business Operation Hours: M - TH: 8:00 AM to 6:00 PM. F: 8 AM to 5 PM	
	• Population: 43 STAFF/ AVG. 50 DAILY GUESTS (+35 during after school care daily)	
2	<u>BUILDING STATISTICS</u>	<u>Approximate</u>
	• MAIN FLOOR	15,500
	APPROXIMATE CLEANABLE SQ FT	15,500
3	<u>CLEANABLE SQUARE FEET</u>	<u>Approximate</u>
	• Carpet	13,225
	• Non-Carpet, Polished Concrete	1,825
	• Non-Carpet, Tile	450
	TOTAL <i>CLEANABLE</i> SQ FT	15,500
4	<u>SERVICE TYPE 'E' SQUARE FEET</u>	<u>Approximate</u>
	• Carpet	0
	• Non-Carpet, Sealed concrete	450
	• Non-Carpet, Tile	0
	TOTAL <i>SERVICE TYPE 'E'</i> SQ FT	450
5	<u>FIXTURE TOTALS</u>	<u>Approximate</u>
	• Stools / Urinals	8
	• Sinks or Lavatories / Faucets	9
	• Shower and Faucet	0
	• Drinking Fountains	2
	• Mop sinks and Faucets	1
6	<u>ACCESS</u>	
	• Arrangements for Daily cleaning: Info identified when contract awarded	
	• Arrangements for Weekend Cleaning: Info identified when contract awarded	
	• County contact person for after hour emergency: Info identified when contract awarded	
7	<u>PROVISIONS</u>	
	• Furniture shown as reference on plans, field verify actual.	
	• Square feet listed is estimate, vendor to field verify actual.	
	• Ceiling care in areas out of custodial's specified range are by others. Remaining ceiling care by Custodial.	
	• Entries and Lobbies: Additional clean required at different times of the year due to weather related debris	
	• Service Type 'A' modified to include weekly ceiling care.	
	• Service Type 'B' modified to include daily trash removal.	
	• Recycle by County, not by vendor.	
	• Floor Drains: daily flush out with clorox wash to reduce smells in restrooms	
	• Exterior work not included in scope of work.	
8	<u>PERIODIC SERVICE SCHEDULE</u>	
	• <i>MEDIUM USE</i> in all areas	

SERVICE TYPE IDENTIFICATION PLAN

CUSTODIAL CONTRACT: RFP 13-0083

DATE: 2013, FALL







SPECIAL CLEAN NOTE:

 SERVICE TYPE E MODIFIED
INCLUDE DAILY TRASH

EXTERIOR

EXTERIOR SERVICE OMITTED FROM
THESE FACILITIES

LEGEND

-  SERVICE TYPE A MODIFIED
INCLUDE WEEKLY CEILING CARE
-  SERVICE TYPE B MODIFIED
INCLUDE DAILY TRASH
-  SERVICE TYPE C (NOT USED)
-  SERVICE TYPE D
-  SERVICE TYPE E
-  CUSTODIAL NO WORK.



JUVENILE FIELD SERVICES
NOT TO SCALE



BUILDING INFORMATION SHEET


1	<u>BUILDING DATA:</u>	Date:	2013, FALL
	• Name and building number:	FORENSIC SCIENCE CENTER	
	• Location:	1109 N. Minneapolis	
	• Number of Stories:	Single Story	
	• Normal Business Operation Hours:	M - F: 8:00 AM to 5:00 PM.	
	• Population:	35 STAFF/ AVG. 10 DAILY GUESTS (+35 during meetings)	
2	<u>BUILDING STATISTICS</u>	<u>Approximate</u>	
	• MAIN FLOOR	17,625	
		APPROXIMATE CLEANABLE SQ FT 17,625	
3	<u>CLEANABLE SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	6,450	
	• Non-Carpet, Resilient	6,425	
	• Non-Carpet, Sealed conc. w/grit	700	
	• Non-Carpet, Resinous	2,525	
	• Non-Carpet, Tile	1,525	
		TOTAL <i>CLEANABLE</i> SQ FT 17,625	
4	<u>SERVICE TYPE 'E' SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	225	
	• Non-Carpet, Resilient	250	
	• Non-Carpet, Sealed concrete	825	
	• Non-Carpet, Tile	0	
		TOTAL <i>SERVICE TYPE 'E'</i> SQ FT 1,300	
5	<u>FIXTURE TOTALS</u>	<u>Approximate</u>	
	• Stools / Urinals	8	
	• Sinks or Lavatories / Faucets	10	
	• Shower and Faucet	0	
	• Drinking Fountains	4	
	• Mop sinks and Faucets	2	
6	<u>ACCESS</u>		
	• Arrangements for Daily cleaning:	Info identified when contract awarded	
	• Arrangements for Weekend Cleaning:	Info identified when contract awarded	
	• County contact person for after hour emergency:	Info identified when contract awarded	
7	<u>PROVISIONS</u>		
	• Furniture shown as reference on plans, field verify actual.		
	• Square feet listed is estimate, vendor to field verify actual.		
	• Service Type 'B' modified to include daily trash removal and vacuum		
	• Custodial clean occurs 8 AM to 2PM daily.		
	• Special clean note for labs, reference service type identification plan for information.		
	• Entries and Lobbies: Additional clean required at different times of the year due to weather related debris		
	• Recycle by County, not by vendor.		
8	<u>PERIODIC SERVICE SCHEDULE</u>		
	• <i>MEDIUM USE</i> in all areas		

SERVICE TYPE IDENTIFICATION PLAN

CUSTODIAL CONTRACT: RFP 13-0083

DATE: 2013, FALL








SPECIAL CLEAN AREA

 CLEAN PER SERVICE TYPE 'B' MODIFIED TO INCLUDE CLEAN: MON / WED/ FRI. SPECIAL PROVISIONS TO LAB ENVIRONMENT ARE AS FOLLOWS: ABSOLUTELY NO DUST IN AIR: CLEAN OCCURS ON FLOOR, TRASH, DUST (SPECIAL PROVISIONS ONLY) AND CEILING CARE. DO NOT CLEAN COUNTERS. CLEAN FLOOR MATS IN LABS.

SPECIAL CLEAN NOTE

* = CLEAN OCCURS WITH COUNTY SUPERVISION.

LEGEND

-  SERVICE TYPE A
-  SERVICE TYPE B MODIFIED INCLUDE DAILY TRASH AND VACUUM
-  SERVICE TYPE C (as needed per request)
-  SERVICE TYPE D
-  SERVICE TYPE E
-  CUSTODIAL NO WORK.
-  EXTENT OF EXTERIOR CLEAN.



FORENSIC SCIENCE
NOT TO SCALE



BUILDING INFORMATION SHEET

1	<u>BUILDING DATA:</u>	Date:	2013, FALL
	• Name and building number:	HEALTH DEPARTMENT CLINIC	
	• Location:	2716 W. Central	
	• Number of Stories:	Single Story	
	• Normal Business Operation Hours:	M / T/ W: 8:00 AM to 6:00 PM. Th: 9:00 AM to 7:00 PM. F: 8:00 AM to 12:00 PM. / Some Saturdays.	
	• Population:	36 STAFF/ AVG.100 DAILY GUESTS (+100 during Aug., Oct., and Nov.)	
2	<u>BUILDING STATISTICS</u>	<u>Approximate</u>	
	• MAIN FLOOR	9,125	
		<u>APPROXIMATE CLEANABLE SQ FT</u> 9,125	
3	<u>CLEANABLE SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	5,125	
	• Non-Carpet, Resilient	3,850	
	• Non-Carpet, Tile	150	
		<u>TOTAL CLEANABLE SQ FT</u> 9,125	
4	<u>SERVICE TYPE 'E' SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	900	
	• Non-Carpet, Resilient	225	
	• Non-Carpet, Tile	0	
		<u>TOTAL SERVICE TYPE 'E' SQ FT</u> 1,125	
5	<u>FIXTURE TOTALS</u>	<u>Approximate</u>	
	• Stools / Urinals	8	
	• Sinks or Lavatories / Faucets	33	
	• Shower and Faucet	0	
	• Drinking Fountains	1	
	• Mop sinks and Faucets	1	
6	<u>ACCESS</u>		
	• Arrangements for Daily cleaning:	Info identified when contract awarded	
	• Arrangements for Weekend Cleaning:	Info identified when contract awarded	
	• County contact person for after hour emergency:	Info identified when contract awarded	
7	<u>PROVISIONS</u>		
	• Furniture shown as reference on plans, field verify actual.		
	• Square feet listed is estimate, vendor to field verify actual.		
	• Equipment/ File cabinets in exam halls are used as counters for staff. Include in clean.		
	• Facility Report: Required for facility, fragrance free (no voc) cleaning products.		
	• Exam beds not included in scope of work for vendor.		
	• Facility requires blinds closed after clean completed.		
	• Service Type 'A' modified to include germicidal disinfectant on all surfaces, hospital grade disinfectant.		
	• Special clean note for labs, reference service type identification plan for information.		
	• Entries and Lobbies: Additional clean required at different times of the year due to weather related debris		
	• Recycle by County, not by vendor.		
8	<u>PERIODIC SERVICE SCHEDULE</u>		
	• <i>MEDIUM USE</i> in all areas		

SERVICE TYPE IDENTIFICATION PLAN

CUSTODIAL CONTRACT: RFP 13-0083

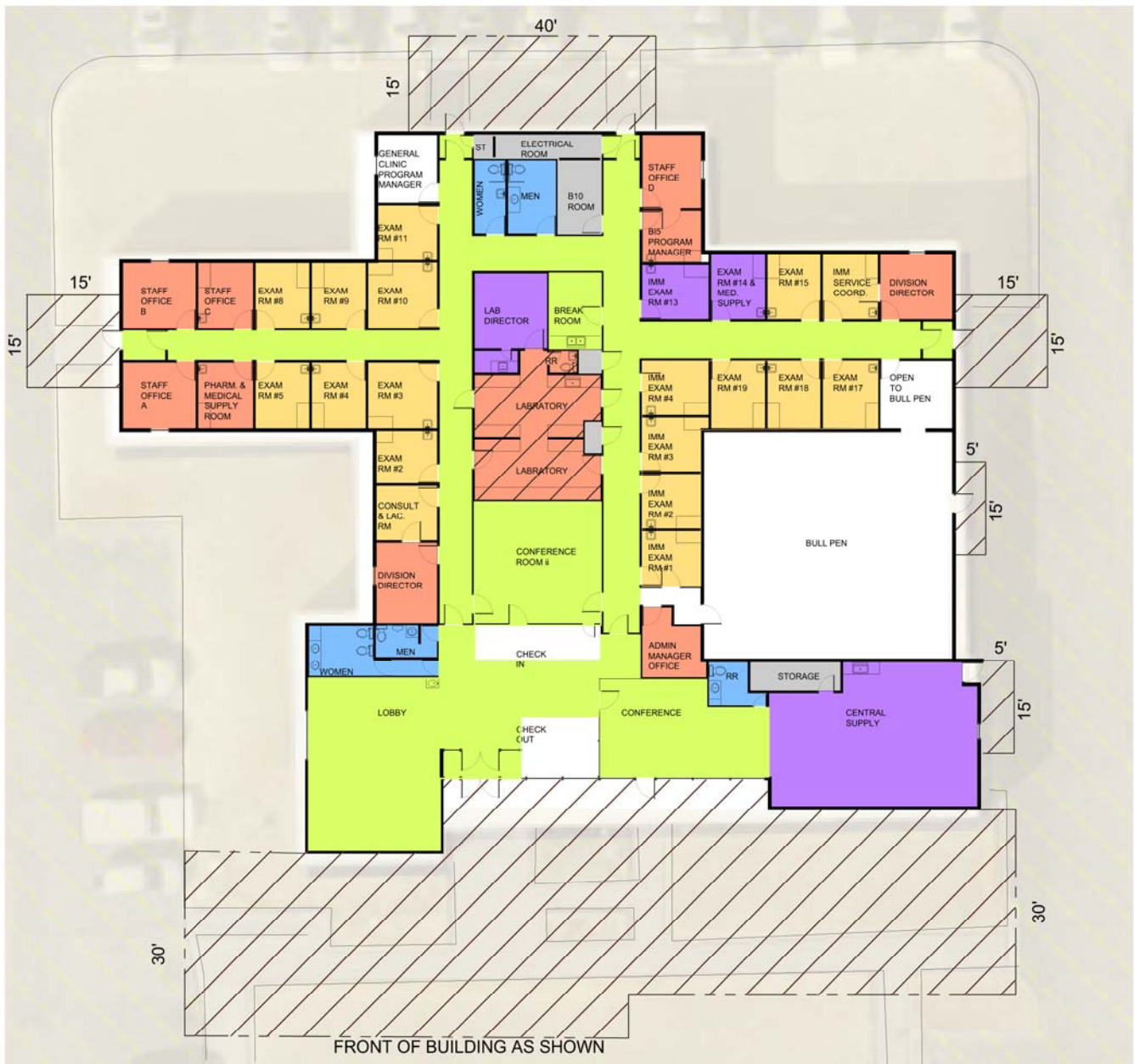
DATE: 2013, FALL

SPECIAL CLEAN AREA

- SERVICE TYPE B MODIFIED TO CLEAN WEDNESDAY EVENING ONLY.
- CLEAN PER SERVICE TYPE 'B' MODIFIED TO CLEAN WEDNESDAY EVENING ONLY. SPECIAL PROVISIONS TO LAB ENVIRONMENT ARE AS FOLLOWS: ABSOLUTELY NO DUST IN AIR: CLEAN OCCURS ON FLOOR, TRASH, DUST (SPECIAL PROVISIONS ONLY) AND CEILING CARE. DO NOT CLEAN COUNTERS. CLEAN SINKS. RESTROOM IN LAB: SERVICE TYPE D MODIFIED TO CLEAN WEDNESDAY EVENING ONLY.

LEGEND

- SERVICE TYPE A :MODIFIED INCLUDE GERMICIDAL DISINFECTANT ON ALL SURFACES.
- SERVICE TYPE B
- SERVICE TYPE C
- SERVICE TYPE D
- SERVICE TYPE E
- CUSTODIAL NO WORK.
- EXTENT OF EXTERIOR CLEAN



HEALTH DEPARTMENT WEST CENTRAL

NOT TO SCALE



BUILDING INFORMATION SHEET








1	<u>BUILDING DATA:</u>	Date:	2013, FALL
	• Name and building number:	HEALTH DEPARTMENT BABIES	
	• Location:	434 N. Oliver	
	• Number of Stories:	Single Story	
	• Normal Business Operation Hours:	M - TH: 8:00 AM to 6:00 PM	
		F: Closed to Public	
	• Population:	25 STAFF/ AVG. 50 DAILY GUESTS	
2	<u>BUILDING STATISTICS</u>	<u>Approximate</u>	
	• MAIN FLOOR	8,550	
		APPROXIMATE CLEANABLE SQ FT 8,550	
3	<u>CLEANABLE SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	7,275	
	• Non-Carpet, Resilient	850	
	• Non-Carpet, Tile	425	
		TOTAL <i>CLEANABLE</i> SQ FT 8,550	
4	<u>SERVICE TYPE 'E' SQUARE FEET</u>	<u>Approximate</u>	
	• Carpet	375	
	• Non-Carpet, Resilient	0	
	• Non-Carpet, Tile	0	
		TOTAL <i>SERVICE TYPE 'E'</i> SQ FT 375	
5	<u>FIXTURE TOTALS</u>	<u>Approximate</u>	
	• Stools / Urinals	5	
	• Sinks or Lavatories / Faucets	6	
	• Shower and Faucet	0	
	• Drinking Fountains	1	
	• Mop sinks and Faucets	1	
6	<u>ACCESS</u>		
	• Arrangements for Daily cleaning:	Info identified when contract awarded	
	• Arrangements for Weekend Cleaning:	Info identified when contract awarded	
	• County contact person for after hour emergency:	Info identified when contract awarded	
7	<u>PROVISIONS</u>		
	• Furniture shown as reference on plans, field verify actual.		
	• Square feet listed is estimate, vendor to field verify actual.		
	• Toys in southwest multipurpose room shall be cleaned by county. Toys in this room not in vendor's scope of work.		
	• Facility Report Diaper Genie in facility shall be emptied by vendor on day of clean.		
	• Toy cube in waiting room, vendor shall clean with hospital grade germicidal disinfectant.		
	• Service Type 'B' modified to include trash removal and vacuum daily.		
	• Entries and Lobbies: Additional clean required at different times of the year due to weather related debris		
	• Recycle by County, not by vendor.		
8	<u>PERIODIC SERVICE SCHEDULE</u>		
	• <i>MEDIUM USE</i> in all areas		

SERVICE TYPE IDENTIFICATION PLAN

CUSTODIAL CONTRACT: RFP 13-0083

DATE: 2013, FALL

LEGEND

-  SERVICE TYPE A :MODIFIED
INCLUDE GERMICIDAL DISINFECTANT
ON ALL SURFACES.
-  SERVICE TYPE B MODIFIED:
INCLUDE TRASH AND VACUUM ON
EACH SHIFT
-  SERVICE TYPE C (NOT USED)
-  SERVICE TYPE D
-  SERVICE TYPE E
-  CUSTODIAL NO WORK.
-  EXTENT OF EXTERIOR CLEAN



HEALTH DEPARTMENT NORTH OLIVER
NOT TO SCALE

