



SEDGWICK COUNTY, KANSAS
DIVISION OF FINANCE
Purchasing Department
Joseph Thomas, Purchasing Director
525 N. Main, Suite 823 ~ Wichita, KS 67203
Phone: 316 660-7255 Fax: 316 383-7055
<http://sedgwickcounty.org/finance/purchasing.asp>

ADDENDUM 3
16-0008
271 BUILDING RENOVATIONS

February 23, 2016

The following is to ensure that vendors have complete information prior to submitting a bid. Here are some clarifications regarding the bid for 271 Building Renovations.

Please review the attached supplemental information to the project prepared by the Architect.

Firms interested in submitting a bid, must respond with complete information and **deliver on or before 1:45 p.m. CST Tuesday March 1st**. Late bids will not be accepted and will not receive consideration for final award.

“PLEASE ACKNOWLEDGE RECEIPT OF THIS ADDENDUM ON THE BID RESPONSE PAGE.”

Kimberly Evans
Purchasing Agent
Kimberly.J.Evans@sedgwick.gov

CONTINUED ON NEXT PAGE

This Addendum is hereby made part of the Contract Documents to the same extent as though it were originally included therein.

All Contractors, Subcontractors and suppliers are reminded that they shall be familiar with all Addenda items (as well as all parts of the Construction Documents) so as to understand the extent of their work and its interrelation with other trades.

To all bidders for furnishing all labor and materials necessary for the following Contract:

**271 BUILDING RENOVATION – FLOORS 1,2,3
Sedgwick County**

271 W. 3rd Street
Wichita , KS 67202

Prepared by:
Schaefer Johnson Cox Frey Architecture, Inc.

ARCHITECTURAL:

ITEM AD3-A01
CLARIFICATION

PRE-BID MEETING:

At the pre-bid meeting, the question was asked as to how the condition of the building will be documented prior to start of work. The Owner, Architect and Contractor will walk the premises after award of contract and prior to start of Work by Contractor and document condition of items not already identified in the Contract Documents.

ITEM AD3-A02
REVISION

PROJECT MANUAL, TEMPORARY FACILITIES AND CONTROLS, 01 50 00:
Paragraph 1.09B:

Revise to read "B. Elevator Use: Use of elevator is permitted, provided elevator is cleaned and maintained in a condition acceptable to Owner. At Substantial Completion, restore elevator to condition existing before initial use."

ITEM AD3-A03
ADDITION

PROJECT MANUAL, SPECIFICATIONS:

The following manufacturers have been approved in the sections indicated, provided their product satisfies all requirements of the Specifications and Contract Documents:

<u>Section</u>	<u>Product</u>	<u>Manufacturer</u>
08 11 13	Hollow Metal Doors and Frames	Mesker

ITEM AD3-A04

DRAWING SHEETS:

Replace Drawing Sheets A21.1, A21.3, A22.1, A23.1, A23.3 with attached sheets. Additional wallcovering removal and gypsum board patch work indicated as result of recently completed mold remediation work.

ITEM AD1-A05
ADDITION

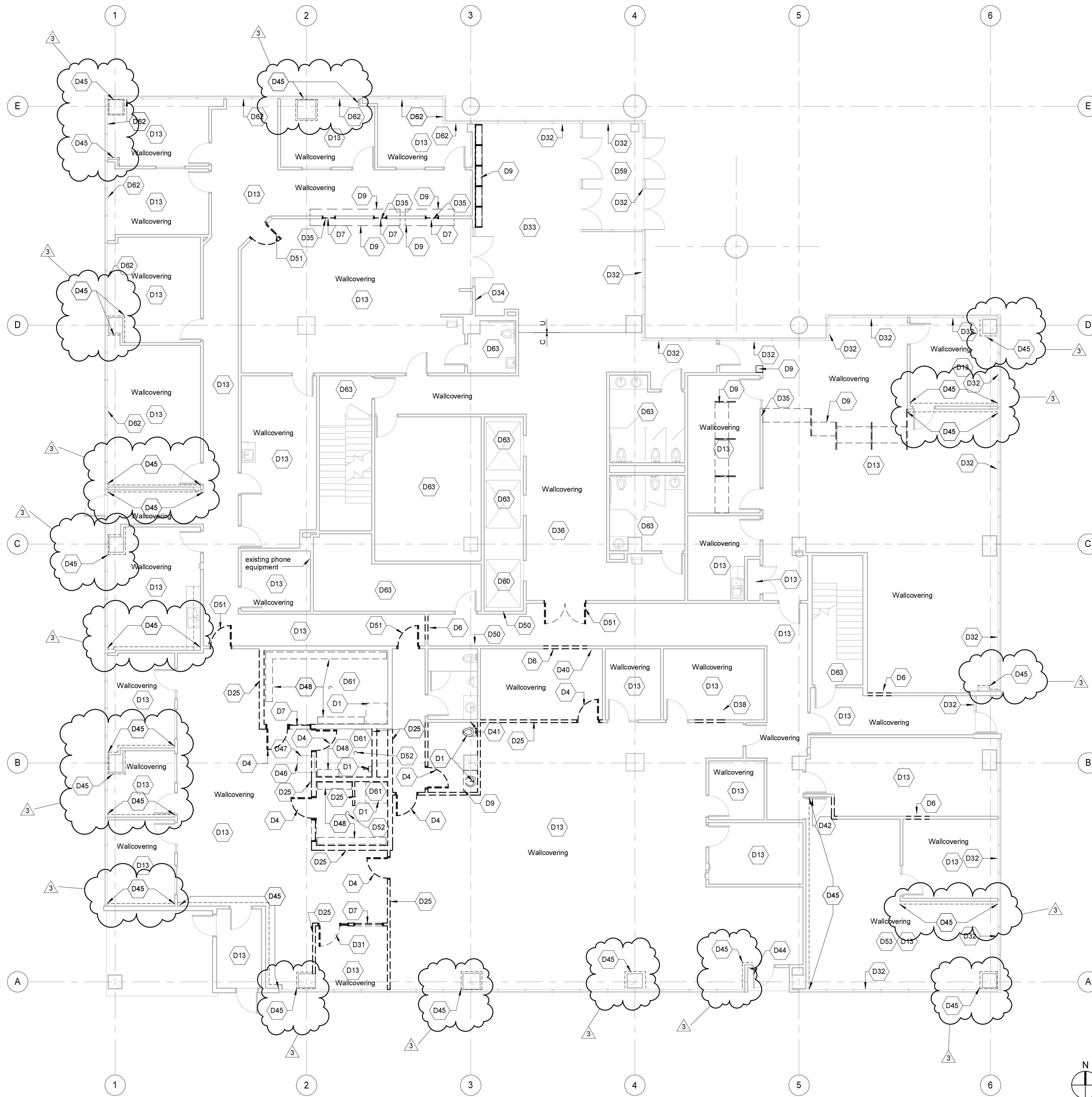
DRAWING SHEETS A21.1, A21.2, A21.3, GENERAL DEMOLITION NOTES:
Add the following General Note:

"All existing blinds at exterior windows to remain. Protect during wallcovering removal. Mounting brackets may remain and wallcovering removed from around brackets, similar for curtain rod brackets where curtains are to remain."

- 5
- ITEM AD3-A06**
CLARIFICATION DRAWING SHEETS A21.1, A21.2, A21.3, GENERAL DEMOLITION NOTES: Remove ceiling tiles within 2' min. of exterior walls on floors 1-3 for inspection by Owner prior to reinstalling. Ductwork and diffusers within this zone to remain.
- 10
- ITEM AD3-A07**
DELETION DRAWING SHEET A22.2: Delete new base cabinet (elevation mark 11/A66.1) at northeast corner of Large Conference Room 232.
- 15
- ITEM AD3-A08**
REVISION DRAWING SHEET A66.1: Revise elevation "11" to read "Large Conference Room 114."
- 20
- ITEM AD3-A09**
DELETION DRAWING SHEET A72.1, PARTITION SCHEDULE: Delete partition type 6A. No new CMU walls included in this project.
- 25
- ITEM AD3-A10**
REVISION DRAWING SHEETS A32.1, A32.2, KEYED NOTES: Keyed Note 8.20: Revise to read "Cut back exterior gasketing and wet seal over remaining gasketing at head, jamb and sill at each individual glazing unit, typical at all storefront and curtain wall locations, including spandrel glass for entire exterior of building, ref. sealant spec. At interior sill and head conditions, remove filler plates, repair and replace splice plates and reinstall filler plates, at all floors 1-6."
- 30
- ITEM AD3-A11**
ADDITION DRAWING SHEETS A66.2: Add detail "18 TYPICAL MILLWORK BLOCKING" per attached revised sheet A66.2.
- 35
- ITEM AD3-A12**
CLARIFICATION DRAWING SHEET A72.1, DOOR & FRAME SCHEDULE: All existing hollow metal frames that are to receive new paint are labeled "PAINT" under the frame / finish column.
- 40
- ITEM AD3-A13**
CLARIFICATION DRAWING SHEET A72.1: All existing wood doors to be cleaned of dbl. sided tape, etc. and scratches shall be treated with rubbing varnish. It is understood that surface scratches and dents may remain. Remnants of surface applied tape, or other residue shall be removed down to the veneer. Rubbing varnish shall be tinted to restore finish that is removed by cleaning process or at existing scratches.
- 45
- ITEM AD3-A14**
REVISION DRAWING SHEETS A22.1, A22.2, A22.3, GENERAL NOTES: Revise general note "Clean interior side of clean exterior window frames and glass" to read "Clean interior side of exterior window frames and glass, exterior glass to be cleaned of any misplaced wet sealant during application of wet sealant. No additional cleaning of exterior glass included in this project"
- 50
- ITEM AD3-A15** DRAWING SHEET A72.1, HARDWARE SCHEDULE:

- CLARIFICATION New mortise office locks to be Corbin Russwin 2051, new mortise passage sets to be Corbin Russwin 2010, new mortise storeroom locks to be Corbin Russwin 2057. All locksets to receive Sargent cylinders and be keyed to Sedgwick County master key system.
- 5 **ITEM AD3-A16** DRAWING SHEET A22.3, KEYED NOTES:
CLARIFICATION Keyed Note 6.27: New p.lam. window sill to be approximately 7" wide by ¾" tall with matching pvc edge band.
- 10 **ITEM AD3-A17** DRAWING SHEET A22.1, KEYED NOTES:
ADDITION Add Keyed Note 9.57 at portion of wood paneling north of doors 139A at lobby 100A.
- 15 **ITEM AD3-A18** DRAWING SHEETS A32.1, A32.2 KEYED NOTES:
CLARIFICATION Keyed Note 7.44: 100 LF of sealant replacement at precast concrete joints is for the entire exterior perimeter of the building, not 100 LF per side.
- 20 **MECHANICAL:**
- ITEM AD3-M01** PLAN SHEET M22.2 – HVAC PLAN LEVEL 2:
ADDITION: In room 247 add 8x8 return air transfer duct in the south wall. In the closet off of room 246 add EF-2 with duct to plenum. Exhaust fan to be controlled with a line voltage t-stat provided by the M.C. See attached drawing.
- 25
- ITEM AD3-M02** PLAN SHEET M70.1 – Schedules and Details
REVISION: Delete the temperature controls by T.C.C.. Provide the terminal unit with a factory mounted analog electronic controller with room thermostat, 24 VAC damper actuator, and Class 2 - 24 VAC control voltage transformer with internal current limiting protection. Controller shall be equal to Titus Type AT35 for variable volume fan cooling with proportional hot water reheat. M.C. to provide a ½" proportional 0-10 VDC control, 2-way valve equal to Honeywell VC7900 series.
- 30
- 35
- 40 **ELECTRICAL:**
- ITEM AD3-E01** PLAN SHEET E1.1:
ADDITION: Add electrical devices at rooms 114 and 119 per attached revised sheet E1.1
- 45
- ITEM AD3-E02** PLAN SHEET E2.1:
ADDITION: Add electrical devices at rooms 232, 239, 246 and 247 per attached revised sheet E2.1
- 50
- ITEM AD3-E03** PLAN SHEET E2.2:
ADDITION: Add electrical devices at room 246 per attached revised sheet E2.2.

END OF ADDENDUM NUMBER THREE



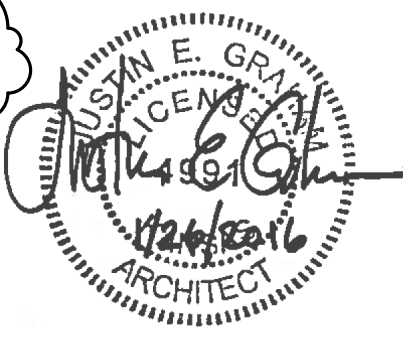
1 LEVEL 1 - DEMO PLAN
1/8" = 1'-0"

GENERAL DEMOLITION NOTES

- G.C. SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS.
- COORDINATE WORK ON DEMO SHEETS WITH WORK ON FLOOR PLAN SHEETS. REF. MECH. AND ELEC. FOR CUT AND PATCH WORK.
- DASHED LINES REPRESENT ITEMS FOR REMOVAL OR RELOCATION - REF. KEYED NOTES.
- NOTES ON THIS SHEET ARE AN ACCUMULATION OF ITEMS ON ALL DEMOLITION PLAN SHEETS. NOT ALL ITEMS ARE FOUND ON EACH SHEET.
- CONTRACTOR SHALL HAVE FIRST SALVAGE RIGHTS ON ALL CONSTRUCTION RELATED ITEMS DESIGNATED TO BE REMOVED FROM FLOORS 1, 2, AND 3.
- CONTRACTOR SHALL CUT AND PATCH FLOORS, WALLS, CEILING, AND ROOFS AS REQUIRED FOR PLACEMENT OF NEW PIPING, CONDUITS, DEVICES, STRUCTURE, ETC. REF. ALL PLANS FOR LOCATIONS.
- G.C. SHALL PROTECT ALL STRUCTURAL ELEMENTS IN BUILDINGS TO REMAIN.
- G.C. SHALL VERIFY ALL NEW OPENINGS FOR PIPING, DUCTS, AND CONDUIT WITH THE EXISTING STRUCTURAL SYSTEM OF THE BUILDING. DO NOT CUT THROUGH CONCRETE FLOOR/ROOF BEAMS, CONCRETE FLOOR/ROOF JOISTS, CONCRETE COLUMNS, STEEL COLUMNS, OR STEEL ROOF JOISTS UNLESS NOTED ON THE PLANS.
- G.C. SHALL PROTECT ALL EXIST. BUILDING COMPONENTS AND FINISHES TO REMAIN. G.C. SHALL REPAIR DAMAGE CAUSED BY CONTRACTOR TO EXIST. BUILDING COMPONENTS & FINISHES TO REMAIN.
- CONTRACTOR SHALL PATCH, REPAIR AND PAINT ALL SURFACES RESULTING FROM DEMOLITION WORK. ALL PATCHES ARE TO MATCH ADJACENT FINISHES AS CLOSELY AS POSSIBLE. WALL OR FLOOR SURFACES WHERE MILLWORK, ELECTRICAL DEVICES OR MECHANICAL EQUIPMENT IS REMOVED SHALL BE PATCHED AND PAINTED.
- PROVIDE COVER PLATES OVER J-BOXES WHICH ARE NO LONGER BEING USED. COLOR TO MATCH EXISTING. REMOVE ALL EXPOSED WIRE MOLD WHICH IS NO LONGER BEING USED - PATCH WALL.
- CONTRACTOR SHALL REMOVE ALL MECH./PLUMBING EQUIPMENT OR MATERIALS THAT ARE NOT RECONNECTED. SUCH ITEMS SHALL INCLUDE BUT ARE NOT LIMITED TO: VENT PIPING, WATER PIPES, HEATING WATER PIPES, CHILLED WATER PIPES, CONDENSATE DRAINS, SEWER LINES, GAS PIPES, INSULATION, DUCTWORK, ESCUTCHEONS, ELECTRICAL CONNECTIONS AND ASSOCIATED CONSTRUCTION EXPOSED TO VIEW.
- REFER TO MECHANICAL AND ELECTRICAL DEMOLITION SHEETS FOR ADDITIONAL INFORMATION ON MECHANICAL AND ELECTRICAL DEMOLITION WORK.
- REMOVE ALL FLOOR COVERING UNLESS OTHERWISE NOTED. FLOORING TO BE REMOVED SHALL BE REMOVED TO CONCRETE (OR EXIST. SUB-FLOOR STRUCTURE). ALL GROUT, GROUT, AND RESIDUE SHALL BE REMOVED TO PROVIDE A CLEAN BARE SURFACE.
- G.C. SHALL SALVAGE AND STOCKPILE BUILDING PRODUCTS FROM DEMOLITION TO BE USED FOR PATCHWORK. SUCH ITEMS SHALL INCLUDE BUT ARE NOT LIMITED TO WALL TILE, DOORS AND FRAMES, CEILING TILE, LIGHT FIXTURES, MECHANICAL DIFFUSERS, TRIM, SPECIAL EQUIPMENT, ETC.
- ALL TOILET ACCESSORIES SHALL BE REMOVED FROM RESTROOMS TO BE DEMOLISHED. G.C. SHALL VERIFY ITEMS TO BE SALVAGED.
- IN ROOMS WHERE NEW ACOUSTICAL CEILING ARE INSTALLED ABOVE ACOUSTICAL CEILING WHICH ARE REMOVED. PATCH WALL WHERE OLD ACOUSTICAL CEILING IS REMOVED.
- FLAME SILLS AT EXTERIOR WINDOWS TO REMAIN.
- CONDUCT WALKTHROUGH WITH OWNER TO VERIFY SIGNS TO REMAIN. REMOVE ALL OTHER SIGNS.
- PATCH HOLES IN WALL PRIOR TO PAINTING.
- REMOVE SIGNS PRIOR TO PAINTING REINSTALL AFTER PAINTING.
- RESEAL SEAMS AT WALL COVERING WHERE GAPS OCCUR PRIOR TO PAINTING.
- REMOVE EXPOSED WALLS, SCREWS, ETC. AT WALLS AND PATCH BEFORE PAINTING.
- REMOVE WALL COVERING FROM ALL EXTERIOR WALLS AND HEADERS OF FLOORS 1, 2, 3.
- REMOVE CEILING TILE WITHIN 2' MIN. OF EXTERIOR WALLS ON FLOORS 1, 2, 3 FOR OWNER INSPECTION PRIOR TO REINSTALLING CEILING TILES. DUCTWORK AND DIFFUSERS WITHIN THIS ZONE TO REMAIN.
- WALLCOVERING TO REMAIN AT COLUMNS AND PILASTERS ADJUTING EXTERIOR WALLS AND ALL OTHER INTERIOR WALLS UNLESS OTHERWISE NOTED.
- ALL EXISTING WINDOWS AT EXTERIOR WALLS TO REMAIN. PROTECT DURING WALLCOVERING REMOVAL. MOUNTING BRACKETS MAY REMAIN AND WALLCOVERING REMOVED FROM AROUND BRACKET. SIMILAR FOR CURTAIN ROD BRACKETS WHERE CURTAINS ARE TO REMAIN.

KEYED DEMOLITION PLAN NOTES

- D1 REMOVE PLUMBING FIXTURES - REF. MECHANICAL.
- D4 REMOVE DOOR AND FRAME.
- D6 REMOVE PORTION OF WALL FOR NEW DOOR OPENING.
- D7 REMOVE EXISTING BORROWED LITE. BLINDS AND SAVE FOR REUSE.
- D8 REMOVE EXISTING CASEWORK.
- D13 REMOVE EXISTING FLOOR COVERING AND BASE IN THIS AREA. PREP FOR NEW.
- D25 REMOVE EXISTING WALL.
- D31 REMOVE DOOR AND FRAME. SALVAGE FOR REUSE.
- D32 REMOVE WALL COVERING FROM HEADER. PREP FOR PAINT. REMOVE CEILING TILES WITHIN 2' MIN. OF WALL FOR OWNER INSPECTION PRIOR TO REINSTALLING CEILING TILES.
- D33 EXISTING MARBLE TILE AND BASE TO REMAIN.
- D34 REMOVE SIGNAGE AND GRAPHICS FROM WOOD PANELING AND TOUCH UP STAIN TO MATCH EXISTING.
- D35 REMOVE LED SIGNS.
- D36 REMOVE CARPET. LEAVE MARBLE TILE BASE.
- D38 REMOVE BOLTS FROM FLOOR AND PATCH.
- D40 REMOVE MARKER BOARD.
- D41 REMOVE TILE WAINSCOT AND PREPARE WALL FOR PAINT.
- D42 REMOVE DOOR CLOSER AND PREP FOR NEW HARDWARE.
- D44 REMOVE DECORATIVE FILM FROM GLASS DOOR.
- D45 REMOVE WALL COVERING TO EXTENT SHOWN.
- D46 REMOVE ADA DOOR OPEN BUTTON.
- D47 REMOVE SPIGOT, REF. MECH.
- D48 REMOVE BENCH AND BOLTS. REPAIR FLOOR WHERE DAMAGED BY BOLTS.
- D50 REMOVE WOOD STRIPS ABOVE BASE AND REPAIR WALL.
- D51 REMOVE DOOR FROM FRAME. PROVIDE COVERS AT HINGE LOCATIONS.
- D52 REMOVE FLOOR DRAIN. REF. MECH.
- D53 REMOVE CEILING FANS. REPLACE AFFECTED CEILING TILES.
- D59 EXISTING WALK-OFF CARPET TO REMAIN.
- D60 REMOVE DAMAGED FLOOR TILE AT THIS ELEVATOR CAB.
- D61 REMOVE CEILING ABOVE HOLDING CELL.
- D62 REMOVE EXISTING CURTAINS AND CURTAIN RODS.
- D63 ALL EXISTING FINISHES TO REMAIN AT THIS ROOM.



©2016
Schafer Johnson Cox Fry Architecture, Inc.
All Rights Reserved.
These drawings and their contents, including, but not limited to, all concepts, designs, details and the exclusive property of Schafer Johnson Cox Fry (SJC/F), shall not be used or reproduced in any way without the express consent of SJC/F.

Revisions

3	2-23-16
---	---------

Project Number	5119.23
Date	26 JAN 2016
1ST FLOOR DEMOLITION PLAN	



1 LEVEL 3 - DEMO PLAN
1/8" = 1'-0"

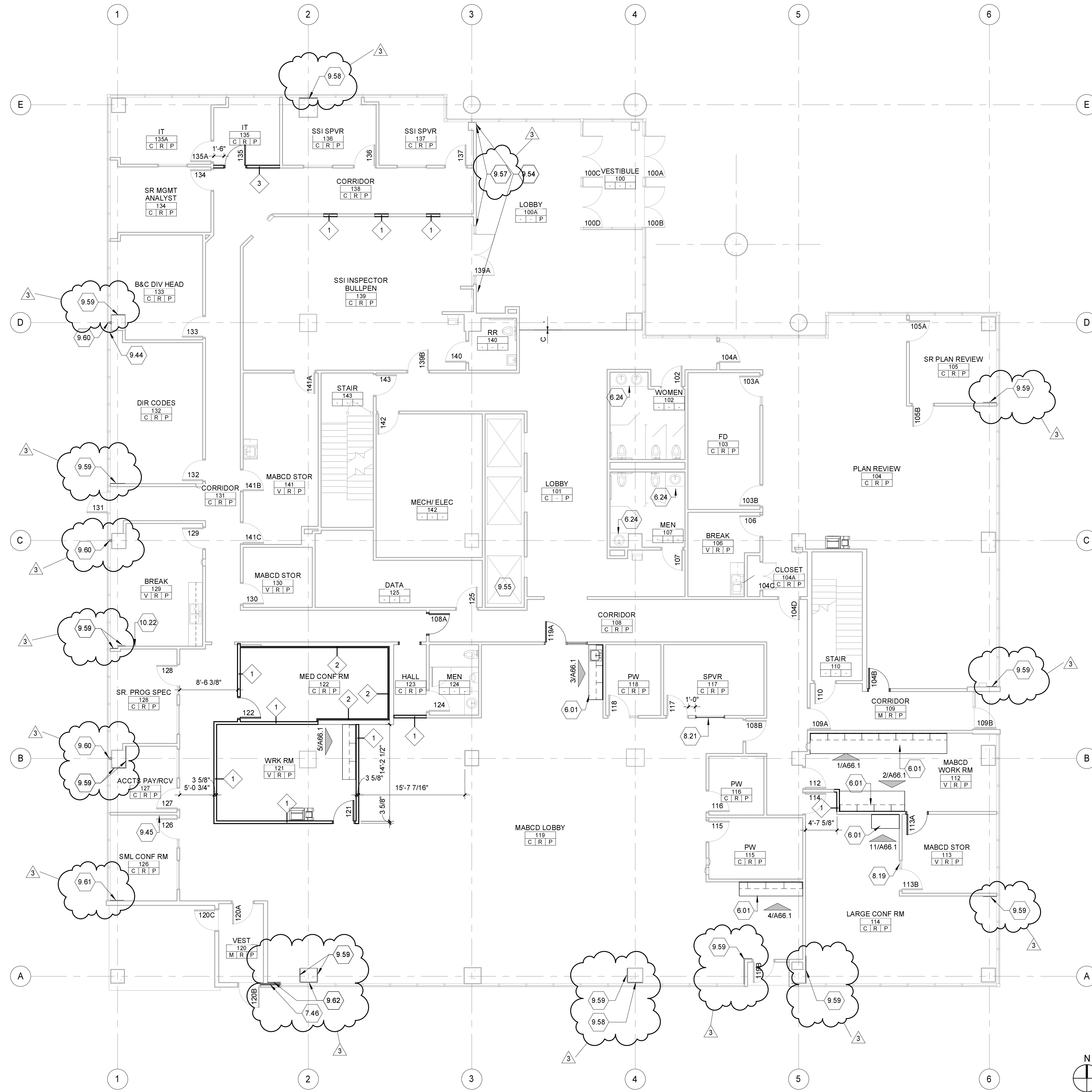
GENERAL DEMOLITION NOTES

- G.C. SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS. COORDINATE WORK ON DEMO SHEETS WITH WORK ON FLOOR PLAN SHEETS. REF. MECH. AND ELEC. FOR CUT AND PATCH WORK.
- DASHED LINES REPRESENT ITEMS FOR REMOVAL OR RELOCATION - REF. KEYED NOTES. NOTES ON THIS SHEET ARE AN ACCUMULATION OF ITEMS ON ALL DEMOLITION PLAN SHEETS. NOT ALL ITEMS ARE FOUND ON EACH SHEET.
- CONTRACTOR SHALL HAVE FIRST SALVAGE RIGHTS ON ALL CONSTRUCTION RELATED ITEMS DESIGNATED TO BE REMOVED FROM FLOORS 1, 2, AND 3.
- CONTRACTOR SHALL CUT AND PATCH FLOORS, WALLS, CEILING, AND ROOFS AS REQUIRED FOR PLACEMENT OF NEW PIPING, CONDUITS, DEVICES, STRUCTURE, ETC. REF. ALL PLANS FOR LOCATIONS.
- G.C. SHALL PROTECT ALL STRUCTURAL ELEMENTS IN BUILDINGS TO REMAIN.
- G.C. SHALL VERIFY ALL NEW OPENINGS FOR PIPING, DUCTS, AND CONDUIT WITH THE EXISTING STRUCTURAL SYSTEM OF THE BUILDING. DO NOT CUT THROUGH CONCRETE FLOOR/ROOF BEAMS, CONCRETE FLOOR/ROOF JOISTS, CONCRETE COLUMNS, STEEL COLUMNS, OR STEEL ROOF JOISTS UNLESS NOTED ON THE PLANS.
- G.C. SHALL PROTECT ALL EXIST. BUILDING COMPONENTS AND FINISHES TO REMAIN. G.C. SHALL REPAIR DAMAGE CAUSED BY CONTRACTOR TO EXIST. BUILDING COMPONENTS & FINISHES TO REMAIN.
- CONTRACTOR SHALL PATCH, REPAIR AND PAINT ALL SURFACES RESULTING FROM DEMOLITION WORK. ALL PATCHES ARE TO MATCH ADJACENT FINISHES AS CLOSELY AS POSSIBLE. WALL OR FLOOR SURFACES WHERE MILLWORK, ELECTRICAL DEVICES OR MECHANICAL EQUIPMENT IS REMOVED SHALL BE PATCHED AND PAINTED.
- PROVIDE COVER PLATES OVER J-BOXES WHICH ARE NO LONGER BEING USED. COLOR TO MATCH EXISTING. REMOVE ALL EXPOSED WIRE MOLD WHICH IS NO LONGER BEING USED - PATCH WALL.
- CONTRACTOR SHALL REMOVE ALL MECH./PLUMBING EQUIPMENT OR MATERIALS THAT ARE NOT RECONNECTED. SUCH ITEMS SHALL INCLUDE BUT ARE NOT LIMITED TO VENT PIPING, WATER PIPES, HEATING WATER PIPES, CHILLED WATER PIPES, CONDENSATE DRAINS, SEWER LINES, GAS PIPES, INSULATION, DUCTWORK, ESCUTCHEONS, ELECTRICAL CONNECTIONS AND ASSOCIATED CONSTRUCTION EXPOSED TO VIEW.
- REFER TO MECHANICAL AND ELECTRICAL DEMOLITION SHEETS FOR ADDITIONAL INFORMATION ON MECHANICAL AND ELECTRICAL DEMOLITION WORK.
- REMOVE ALL FLOOR COVERING UNLESS OTHERWISE NOTED. FLOORING TO BE REMOVED SHALL BE REMOVED TO CONCRETE (OR EXIST. SUB-FLOOR STRUCTURE). ALL GLUE, GROUT, AND RESIDUE SHALL BE REMOVED TO PROVIDE A CLEAN BARE SURFACE.
- G.C. SHALL SALVAGE AND STOCKPILE BUILDING PRODUCTS FROM DEMOLITION TO BE USED FOR PATCHWORK. SUCH ITEMS SHALL INCLUDE BUT ARE NOT LIMITED TO WALL TILE, DOORS AND FRAMES, CEILING TILE, LIGHT FIXTURES, MECHANICAL DIFFUSERS, TRIM, SPECIAL EQUIPMENT, ETC.
- ALL TOILET ACCESSORIES SHALL BE REMOVED FROM RESTROOMS TO BE DEMOLISHED. G.C. SHALL VERIFY ITEMS TO BE SALVAGED.
- IN ROOMS WHERE NEW ACOUSTICAL CEILINGS ARE INSTALLED ABOVE ACOUSTICAL CEILINGS WHICH ARE REMOVED, PATCH WALL WHERE OLD ACOUSTICAL CEILING IS REMOVED.
- PLUMB SILLS AT EXTERIOR WINDOWS TO REMAIN.
- CONDUCT WALKTHROUGH WITH OWNER TO VERIFY SIGNS TO REMAIN, REMOVE ALL OTHER SIGNS.
- PATCH HOLES IN WALL PRIOR TO PAINTING.
- REMOVE SIGNS PRIOR TO PAINTING REINSTALL AFTER PAINTING.
- RESAL SEAMS AT WALL COVERINGS WHERE GAPS OCCUR PRIOR TO PAINTING.
- REMOVE EXPOSED NAILS, SCREWS, ETC. AT WALLS AND PATCH BEFORE PAINTING.
- REMOVE WALL COVERING FROM ALL EXTERIOR WALLS AND HEADERS OF FLOORS 1, 2, 3.
- WHEN OCCURS REMOVE CEILING VILES WITH 2 MIN. OR EXTERIOR WALLS ON FLOORS 1, 2, 3 FOR OWNER INSPECTION PRIOR TO REINSTALLING CEILING TILES. DUCTWORK AND DIFFUSERS WITHIN THIS AREA TO REMAIN.
- WALLCOVERING TO REMAIN AT COLUMNS AND PLASTERS ADJUTING EXTERIOR WALLS AND AT ALL OTHER INTERIOR LOCATIONS UNLESS OTHERWISE NOTED.
- EXISTING BLINDS AT EXTERIOR WINDOWS TO REMAIN. PRIOR TO WALL COVERING REMOVAL, MOUNTING BRACKETS MAY REMAIN AND WALL COVERING REMOVED FROM AROUND BRACKET. SIMILAR FOR CURTAIN ROD BRACKETS WHERE CURTAINS ARE TO REMAIN.

KEYED DEMOLITION PLAN NOTES

- D13 REMOVE EXISTING FLOOR COVERING AND BASE IN THIS AREA, PREP FOR NEW.
- D25 REMOVE EXISTING WALL.
- D31 REMOVE DOOR AND FRAME, SALVAGE FOR REUSE.
- D45 REMOVE WALL COVERING TO EXTENT SHOWN.
- D55 REMOVE AND REPLACE WINDOW SILL TO MATCH EXISTING.
- D56 PORCELAIN TILE TO REMAIN.
- D57 REMOVE SERVER RACK.
- D63 ALL EXISTING FINISHES TO REMAIN AT THIS ROOM.
- D65 REMOVE WALL COVERING FROM HEADER AND WALL BELOW WINDOW.
- D67 REMOVE EXISTING WALL BELOW 7'-6" AFF AND PATCH DRYWALL OPENING.
- D88 EXISTING CURTAINS TO REMAIN.





1 LEVEL 1
1/8" = 1'-0"

GENERAL NOTES

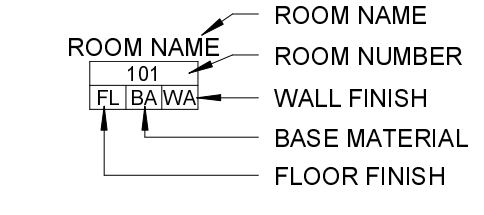
- CONTRACTOR TO VERIFY EXISTING SITE AND BUILDING CONDITIONS.
- WALL WITH DARK (BLACK) PERIMETER LINES INDICATE NEW WALLS.
- EXISTING WALLS SHOWN WITH SCREENED (GRAY) LINES WITH NO FILL.
- PLAN DIMENSIONS ARE TO FACE OF STUD. TYP. AND FROM FACE OF FINISHED EXISTING WALL WHERE OCCURS.
- SEE ALL MILLWORK DETAILS FOR ALL CASEWORK GOODS THAT REQUIRE IN-WALL BLOCKING FOR ATTACHMENT.
- REMOVE EXISTING WALLCOVERING WHERE OCCURS. PRIOR TO PAINTING.
- CLEAN INTERIOR SIDE OF EXTERIOR WINDOW FRAMES AND GLASS.
- EXTERIOR GLASS TO BE CLEANED OF ANY EXTRANEOUS WET SEALANT DURING APPLICATION OF WET SEALANT. NO ADDITIONAL CLEANING OF EXTERIOR GLASS INCLUDED IN THIS PROJECT.
- RELOCATE SPRINKLER HEADS FOR NEW WALL LAYOUTS AND FINISH CEILING CHANGES IN ACCORDANCE WITH IBC 903.3.1.1 SPRINKLER SYSTEM TO BE FULLY TESTED AND INSPECTED BY ALL GOVERNING JURISDICTIONS.
- ABBREVIATIONS:
 CJ CONTROL JOINT - REF. DETAIL
 FEC FIRE EXTINGUISHER AND CABINET - REF. SPEC.
 MB MARKER BOARD
 TB TACKBOARD
 PS PROJECTION SCREEN - REF. SPEC.
 FE FIRE EXTINGUISHER AND BRACKET - REF. SPEC.
 NIC NOT IN CONTRACT, ITEM FURNISHED BY OWNER
 VIF VERIFY IN FIELD ACTUAL CONDITIONS

KEYED FLOOR PLAN NOTES

- 6.01 MILLWORK - REF. A66 SERIES SHEETS & SPECIFICATIONS.
- 9.24 CLEAN AND RECAULK COUNTERTOP AND APPROX.
- 7.46 PROVIDE FOIL FACED BATT INSULATION AT PORTION OF WALL FROM FLOOR TO APPROX. 12' A.F.F.
- 8.19 ADD FROSTED WINDOW FILM TO SIDELITE
- 9.21 INSTALL SALVAGED HM BORROWED LITE FROM DEMOLITION. REPLACE GLASS WITH 1/4" SAFETY GLASS (APPROX. 12SF). ALIGN T.O. FRAME WITH DOOR FRAME.
- 9.44 REPAIR GYP. BD. AT CEILING.
- 9.45 PATCH WALL AND PREPARE FOR PAINT.
- 9.54 EXISTING WOOD PANELING TO REMAIN.
- 9.55 REPLACE DAMAGED FLOOR TILE IN THIS CAB WITH CROSSVILLE EMPIRE SERIES TILE TO MATCH.
- 9.57 SAND AND REFINISH WOOD PANELING FROM FLOOR TO BOTTOM OF WOOD SOFFIT.
- 9.58 PATCH WALL / COLUMN WITH 5/8" GYPSUM BOARD FROM FLOOR TO APPROX. 9' A.F.F.
- 9.59 PATCH WALL / COLUMN WITH 5/8" GYPSUM BOARD FROM FLOOR TO APPROX. 1' A.F.F.
- 9.60 RE-ATTACH EXISTING MTL. CLOSURE PLATES BETWEEN STOREFRONT AND COLUMN WITH PAN HEAD SCREWS.
- 9.61 PATCH WALL WITH 5/8" GYPSUM BOARD FROM FLOOR TO APPROX. 10' A.F.F.
- 9.62 DISPLAY SAGES TO REMAIN.

FINISH SCHEDULE GUIDE

FLOOR:	BASE:	WALL:
C CARPET	C CERAMIC TILE	C CERAMIC WALL TILE
M WALKOFF CARPET	R RUBBER BASE	E EPOXY PAINT
T MOSAIC PORCELAIN TILE	NO FIN. REQ. EXISTING	P PAINT
V VINYL TILE	NO FIN. REQ. EXISTING	F FIBERGLASS REINFORCED PANEL
- NO FIN. REQ. EXISTING	AS-IS CONDITION	- NO FIN. REQ. EXISTING
- NO FIN. REQ. EXISTING	AS-IS CONDITION	- NO FIN. REQ. EXISTING



- REFER TO A66 SERIES SHEETS FOR CHANGES IN FLOOR FINISH DETAILS.
- REFER TO DOOR AND FRAME SCHEDULE FOR EXISTING HM FRAMES TO BE PAINTED.
- BASE BID - PAINT OVER EXISTING WALL COVERING WHERE NEW PAINT IS SCHEDULED, EXCEPT WHERE WALLCOVERING IS SPECIFICALLY NOTED TO BE REMOVED. FILL HOLES IN WALLS PRIOR TO PAINTING.
- ALTERNATE #1 - REMOVE EXISTING WALLCOVERING PRIOR TO PAINTING, WHERE PAINT IS SCHEDULED. REFER TO DEMO PLANS FOR EXISTING WALLCOVERING LOCATIONS.



©2015
 Schaefer Johnson Cox Fry Architecture, Inc.
 All Rights Reserved.
 These drawings and their contents, including, but not limited to, all concepts, designs, details and the exclusive property of Schaefer Johnson Cox Fry (SJC) and may not be used or reproduced in any way without the express consent of SJC.

Revisions
 3 2-23-16

Project Number
 5119.23

Date

26 JAN 2016
1ST FLOOR PLAN

1/8" = 1'-0"

A22.1



1 LEVEL 1
1/8" = 1'-0"

GENERAL NOTES

- G.C. SHALL VERIFY ALL EXISTING BUILDING CONDITIONS INCLUDING DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.
- THIS SHEET IS FOR GENERAL INFORMATION ONLY. NOT ALL CEILING LIGHT FIXTURES, DEVICES, MECHANICAL DIFFUSERS, GRILLES, ETC. ARE SHOWN. REF. MECHANICAL AND ELECTRICAL FOR ADDITIONAL INFORMATION.
- ALL CONDUIT RUNS SHALL BE CONCEALED ABOVE CEILINGS - REF. ELECTRICAL.
- ALL GYPSUM BOARD DROP SOFFITS SHALL HAVE PAINTED GYPSUM BOARD FASCIAS TO CLOSE ALL VISIBLE GAPS IN THE CEILING EXCEPT WHERE DETAILED OTHERWISE.
- ONLY CEILING FINISHES ARE DESIGNATED IN SYMBOLS. REFER TO A22 SERIES SHEETS FOR ROOM FINISHES.
- CEILING GRID LIGHTS SHOWN WITH DARKER LINE WEIGHT REPRESENT NEW LAYOUT. LIGHTER LINE WEIGHT SHOWS ADJACENT AREAS TO REMAIN. REUSE EXISTING CEILING TILES IN AREAS OF NEW LAYOUT AND PROVIDE NEW TILES TO MATCH AS REQUIRED. REUSE EXISTING LIGHTS PER ELEC. DWGS. PROVIDE NEW AS REQ'D.
- CENTER CEILING GRID WITHIN ROOM AS SHOWN.
- RELOCATE SPRINKLER HEADS FOR NEW WALL LAYOUTS AND FINISH CEILING CHANGES IN ACCORDANCE WITH IBC 903.3.1.1 SPRINKLER SYSTEM TO BE FULLY TESTED AND INSPECTED BY ALL GOVERNING JURISDICTIONS.

KEYED REFLECTED CEILING PLAN NOTES

- 9.48 EXISTING CEILING TO REMAIN.
- 9.50 REMOVE ACOUSTICAL GRID AND TILES AS REQUIRED FOR INSTALLATION OF NEW WALL.
- 9.51 NEW GRID AND SALVAGED NEW LIGHTS ON PATTERN WITH EXISTING CEILING FINISHES.
- 9.56 PATCH GYP. BD. HEADER BETWEEN COLUMN AND STOREFRONT WITH NEW GYP. BD.
- 9.64 REPLACE DAMAGED CEILING TILE AND GRID TEE.

FINISH SCHEDULE GUIDE

CEILING:	ROOM NAME
A1 2X2 ACOU. CLG.	101
A2 2X4 ACOU. CLG.	M4 IMA. EX.
GP GYP. BD. - PAINT	
- NO FINISH REQ. / EXIST.	
CEILING TO REMAIN 'AS-IS'	
CONDITION	

SYMBOL LEGEND

- ACOUSTICAL CEILING- REF. SPEC. AND FINISH SCHEDULE
- GYPSUM BD. SOFFIT/CEILING (PAINT)
- TILE CEILING
- HVAC DIFFUSER / RETURN AIR GRILLE- REF. MECHANICAL
- LIGHT FIXTURE- REF. ELECTRICAL
- LIGHT FIXTURE- REF. ELECTRICAL
- LIGHT FIXTURE- REF. ELECTRICAL



©2016
Schaefer Johnson Cox Fry Architecture, Inc.
All Rights Reserved.
These drawings and their contents, including, but not limited to, all concepts, designs, details and the respective property of Schaefer Johnson Cox Fry (SJC) and may not be used or reproduced in any way without the express consent of SJC.

Revisions

3	2-23-16
---	---------

Project Number
5119.23

Date
26 JAN 2016
1ST FLOOR REFLECTED CEILING PLAN

1/8" = 1'-0"
A23.1



1 LEVEL 3
1/8" = 1'-0"

GENERAL NOTES

- G.C. SHALL VERIFY ALL EXISTING BUILDING CONDITIONS INCLUDING DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.
- THIS SHEET IS FOR GENERAL INFORMATION ONLY. NOT ALL CEILING LIGHT FIXTURES, DEVICES, MECHANICAL DIFFUSERS, GRILLES, ETC. ARE SHOWN. REF. MECHANICAL AND ELECTRICAL FOR ADDITIONAL INFORMATION.
- ALL CONDUIT RUNS SHALL BE CONCEALED ABOVE CEILINGS - REF. ELECTRICAL.
- ALL GYPSUM BOARD DROP SOFFITS SHALL HAVE PAINTED GYPSUM BOARD FASCIAS TO CLOSE ALL VISIBLE GAPS IN THE CEILING EXCEPT WHERE DETAILED OTHERWISE.
- ONLY CEILING FINISHES ARE DESIGNATED IN SYMBOLS. REFER TO A22 SERIES SHEETS FOR ROOM FINISHES.
- CEILING GRID LIGHTS SHOWN WITH DARKER LINE WEIGHT REPRESENT NEW LAYOUT. LIGHTER LINE WEIGHT SHOWS ADJACENT AREAS TO REMAIN. REUSE EXISTING CEILING TILES IN AREAS OF NEW LAYOUT AND PROVIDE NEW TILES TO MATCH AS REQUIRED. REUSE EXISTING LIGHTS PER ELEC. DWGS. PROVIDE NEW AS REQ'D.
- CENTER CEILING GRID WITHIN ROOM AS SHOWN.
- RELOCATE SPRINKLER HEADS FOR NEW WALL LAYOUTS AND FINISH CEILING CHANGES IN ACCORDANCE WITH IBC 903.3.1.1 SPRINKLER SYSTEM TO BE FULLY TESTED AND INSPECTED BY ALL GOVERNING JURISDICTIONS.

KEYED REFLECTED CEILING PLAN NOTES

- 9.48 EXISTING CEILING TO REMAIN.
- 9.50 REMOVE ACOUSTICAL GRID AND TILES AS REQUIRED FOR INSTALLATION OF NEW WALL.
- 9.51 NEW GRID AND SALVAGED NEW LIGHTS ON PATTERN WITH EXISTING.
- 9.65 PATCH APPROX. 7'X8' OF GYP. BD. HEADER WITH NEW GYP. BD.
- 9.66 PATCH APPROX. 7'X12' OF GYP. BD. HEADER WITH NEW GYP. BD. LOCATION AS SHOWN.

FINISH SCHEDULE GUIDE

CELLINGS	ROOM NAME
A1 2'X2' ACOU. CLG.	101
A2 2'X4' ACOU. CLG.	A4 MA. EX.
GP GYP. BD. - PAINT	
NO FINISH REQ. / EXIST.	
CEILING TO REMAIN IN 'AS-IS' CONDITION	

SYMBOL LEGEND

- ACOUSTICAL CEILING - REF. SPEC. AND FINISH SCHEDULE
- GYPSUM BD. SOFFIT/CEILING (PAINT)
- TILE CEILING
- HVAC DIFFUSER / RETURN AIR GRILLE - REF. MECHANICAL
- LIGHT FIXTURE - REF. ELECTRICAL
- LIGHT FIXTURE - REF. ELECTRICAL
- LIGHT FIXTURE - REF. ELECTRICAL



Revisions

3	2-23-16
---	---------

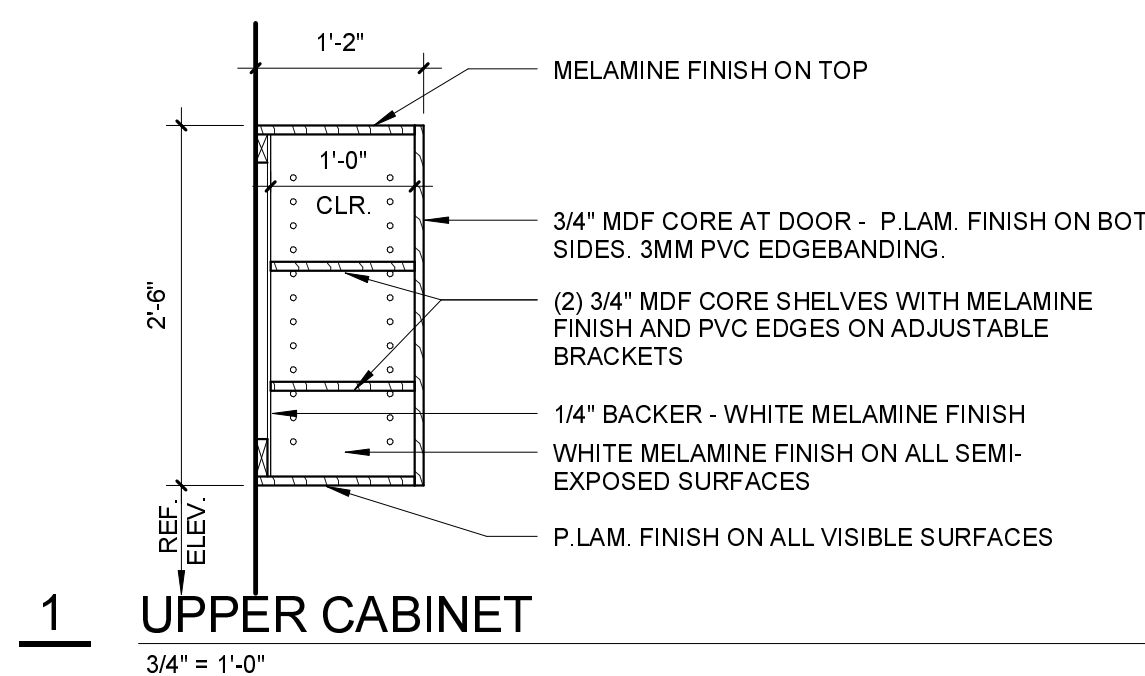
Project Number
5119.23

Date

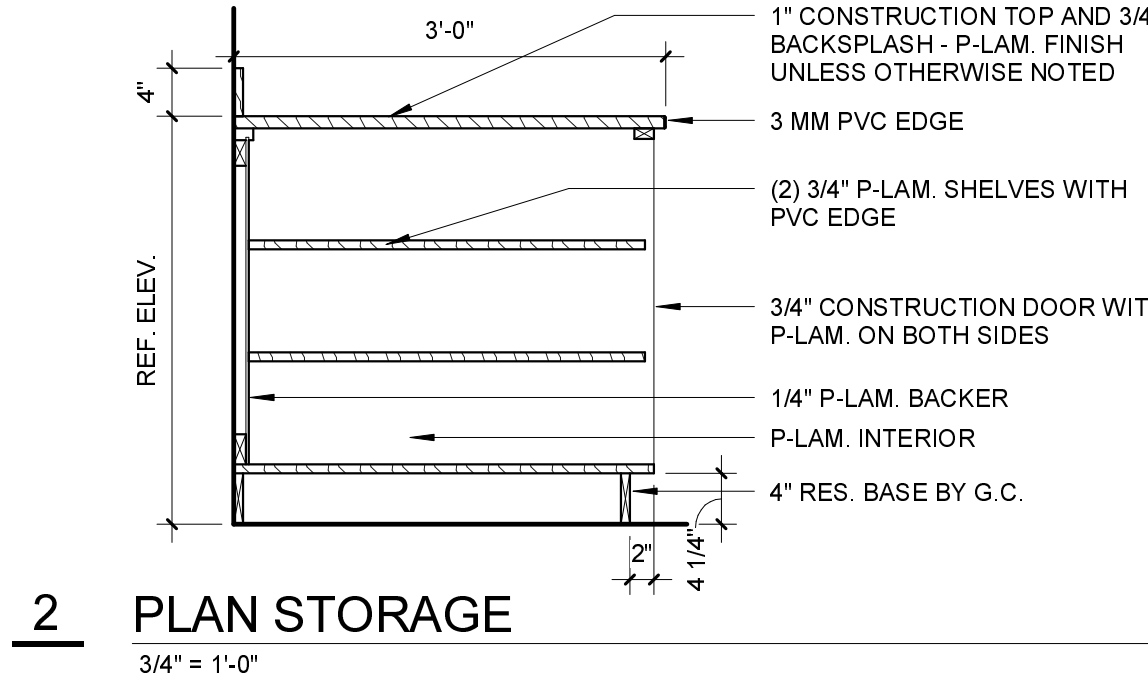
26 JAN 2016
3RD FLOOR
REFLECTED CEILING
PLAN

1/8" = 1'-0"

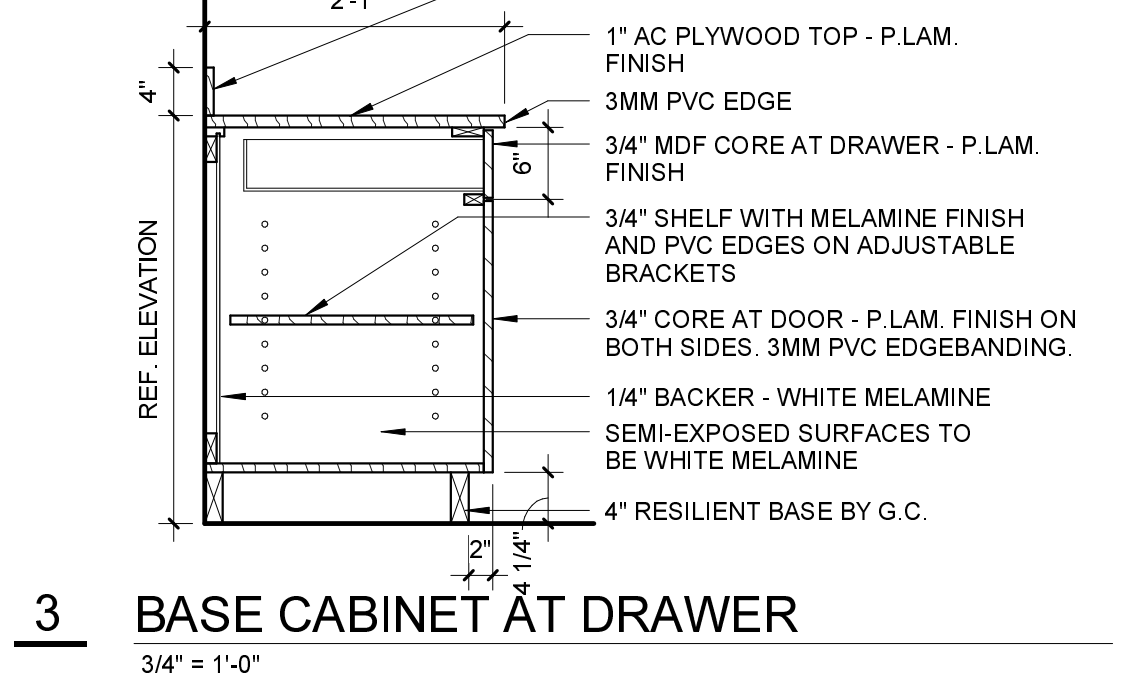
A23.3



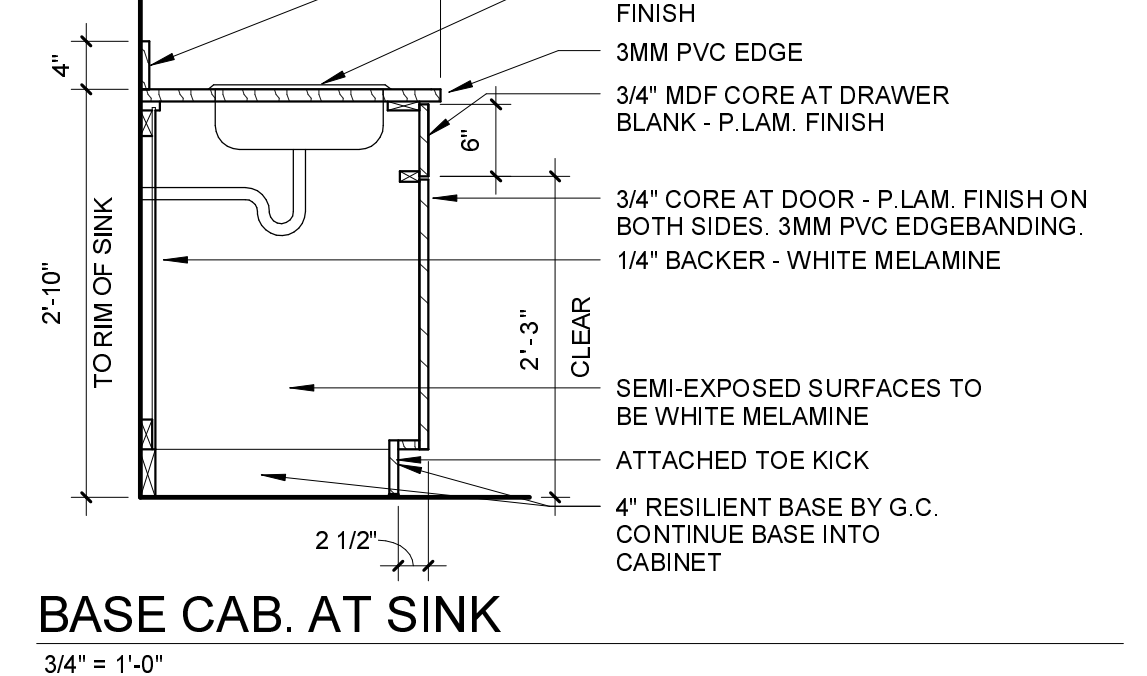
1 UPPER CABINET
3/4" = 1'-0"



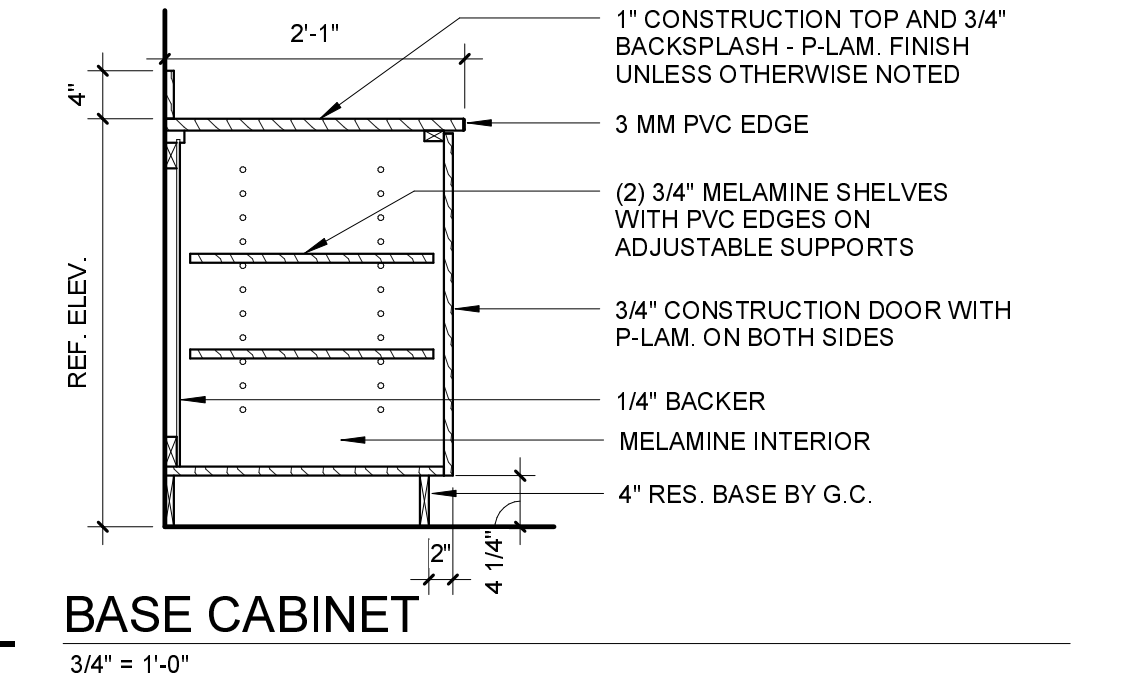
2 PLAN STORAGE
3/4" = 1'-0"



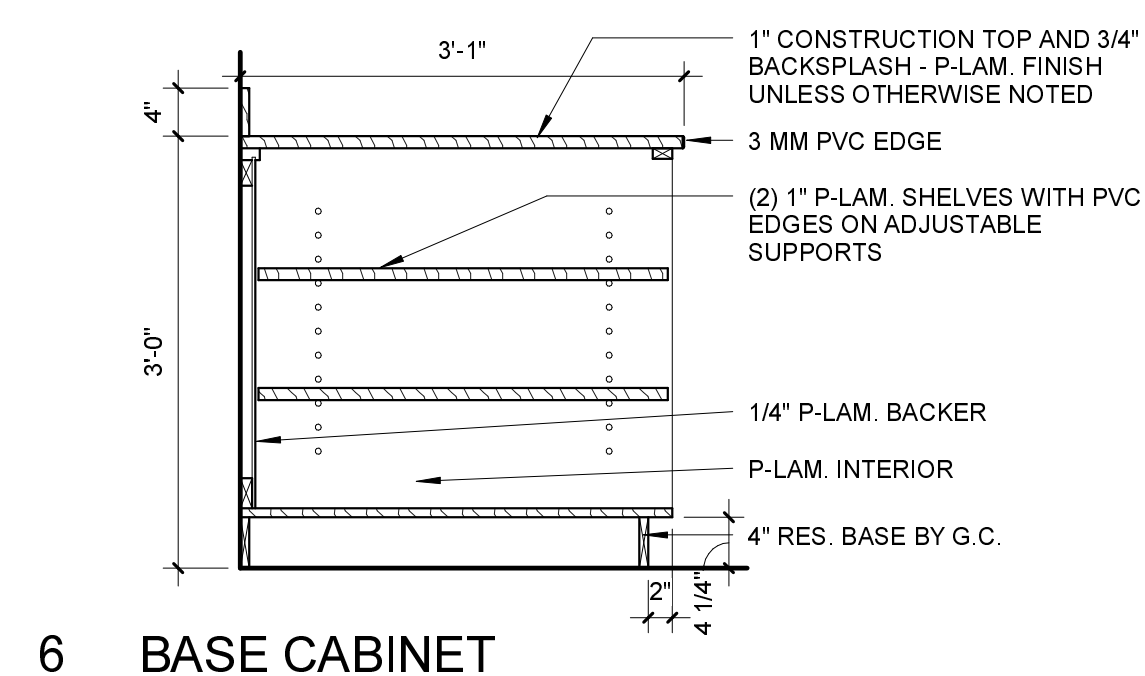
3 BASE CABINET AT DRAWER
3/4" = 1'-0"



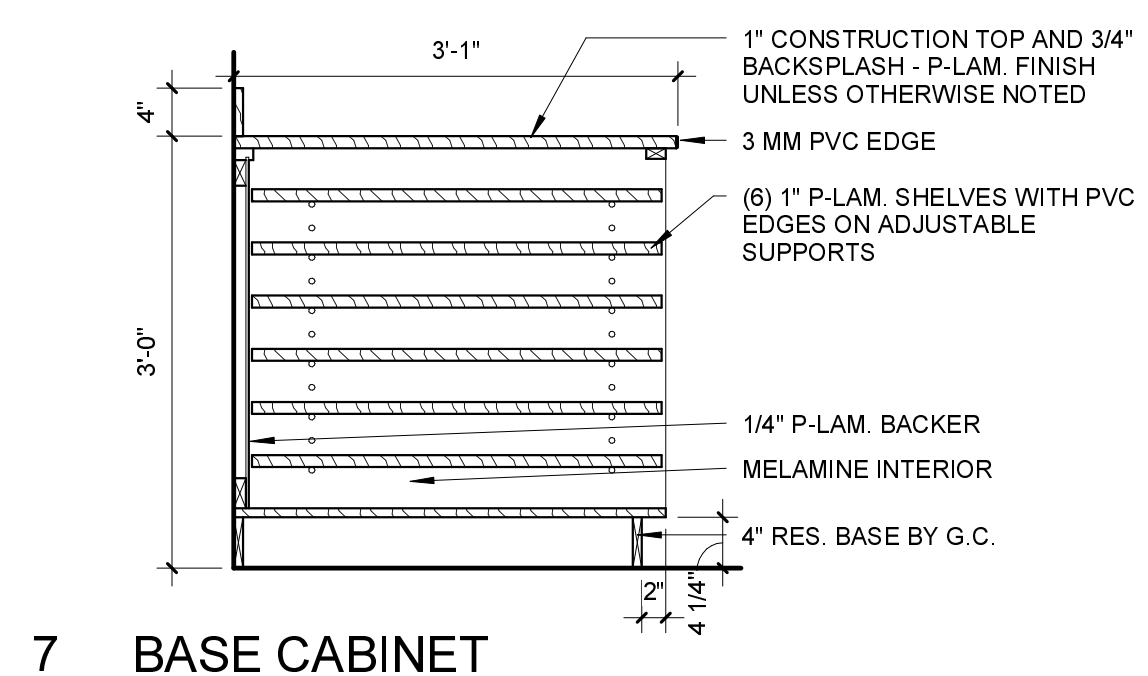
4 BASE CAB. AT SINK
3/4" = 1'-0"



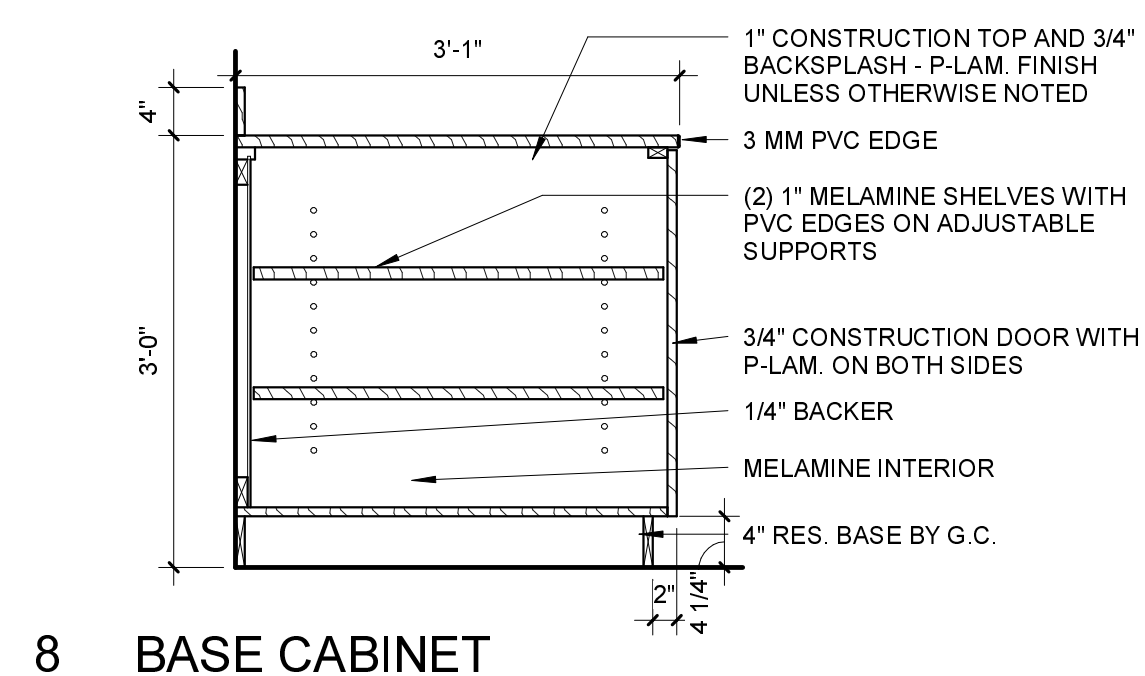
5 BASE CABINET
3/4" = 1'-0"



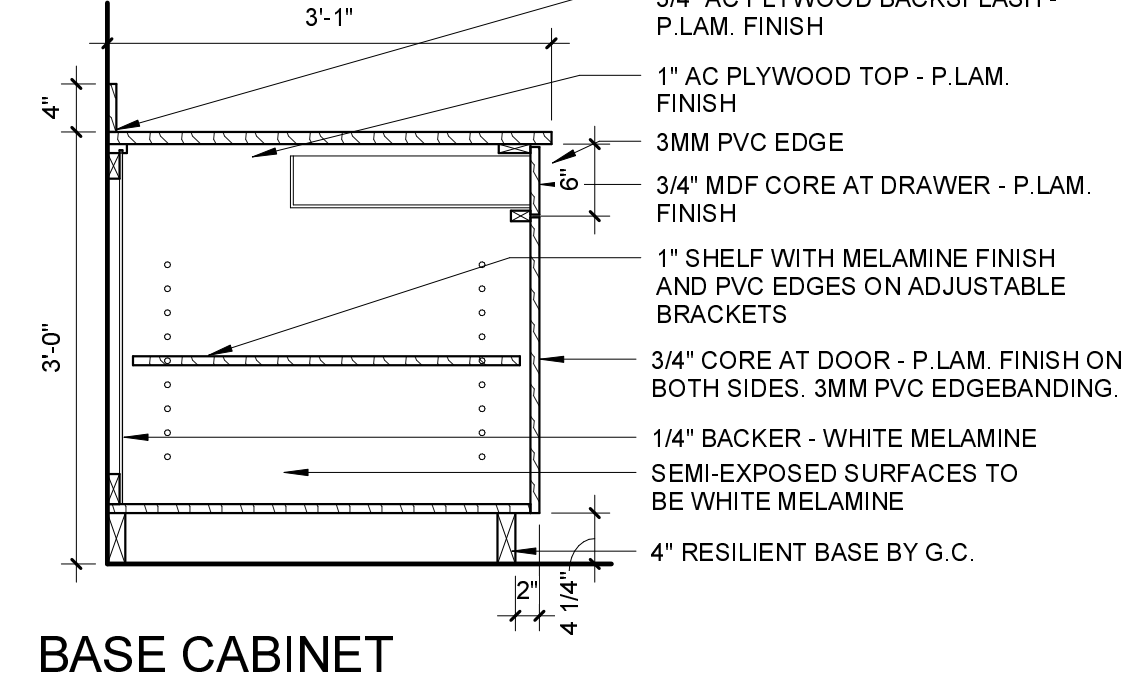
6 BASE CABINET
3/4" = 1'-0"



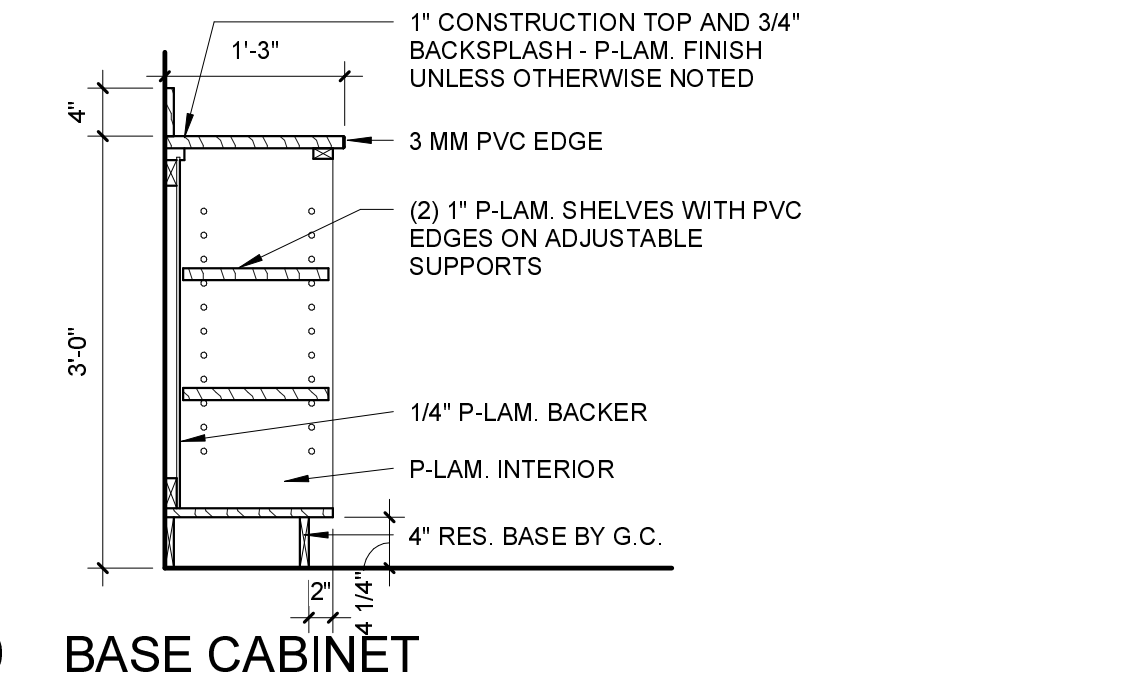
7 BASE CABINET
3/4" = 1'-0"



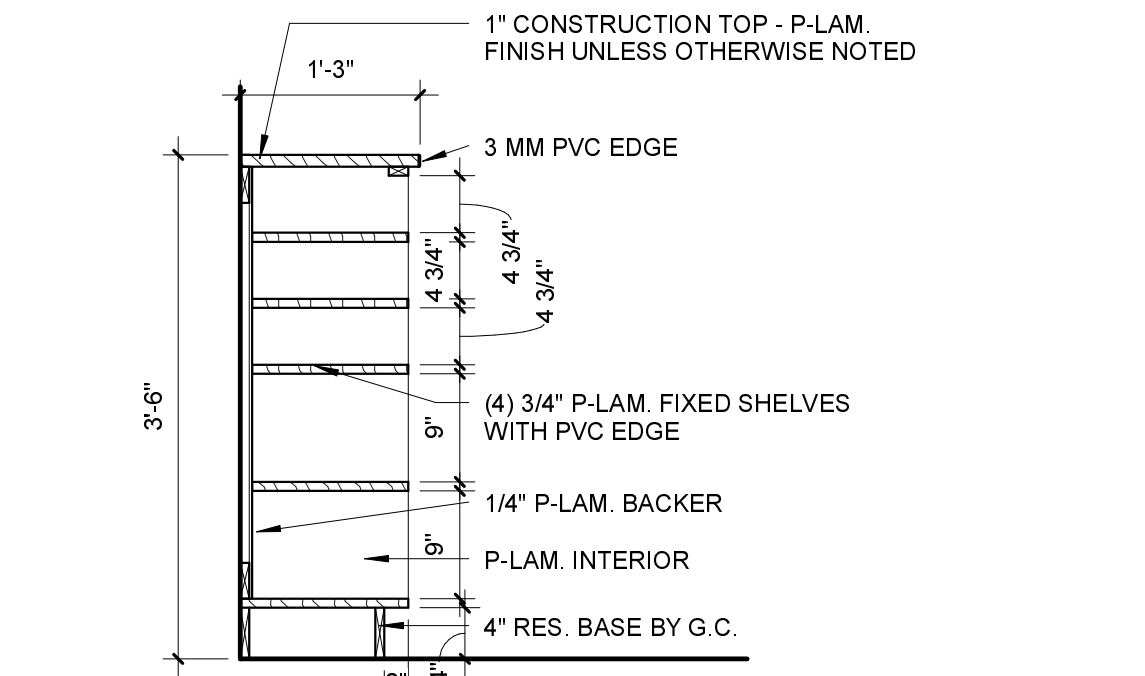
8 BASE CABINET
3/4" = 1'-0"



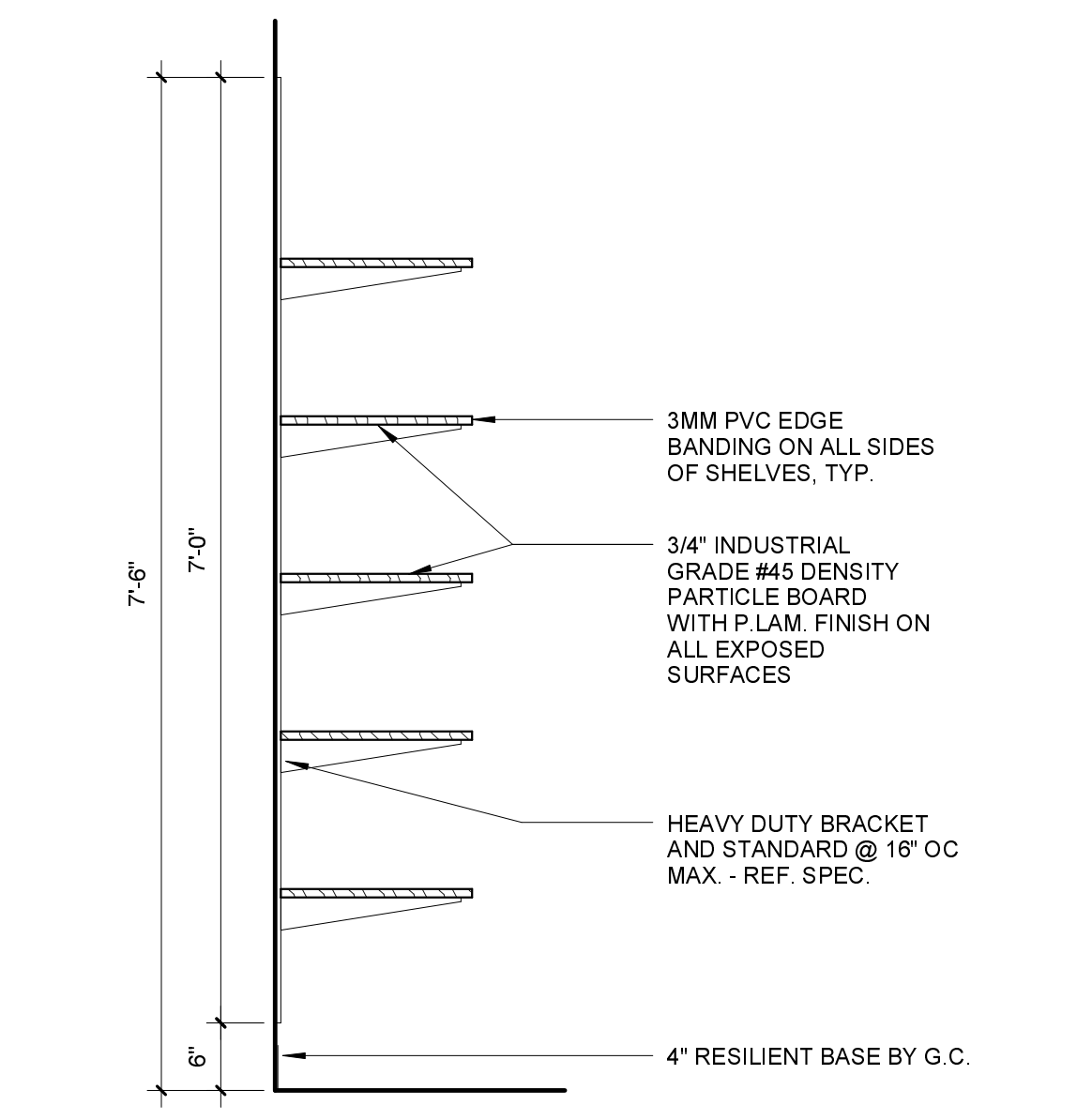
9 BASE CABINET
3/4" = 1'-0"



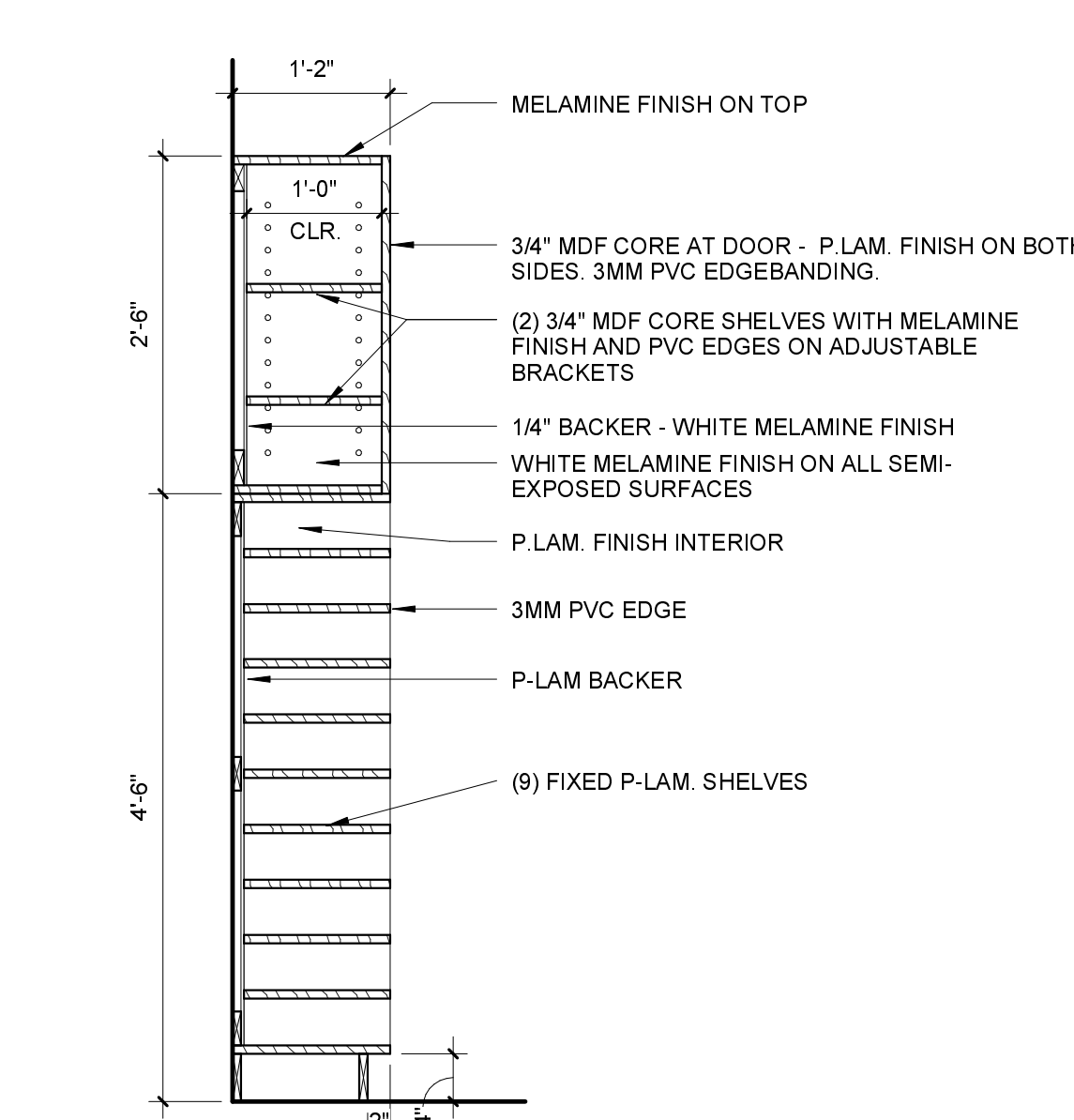
10 BASE CABINET
3/4" = 1'-0"



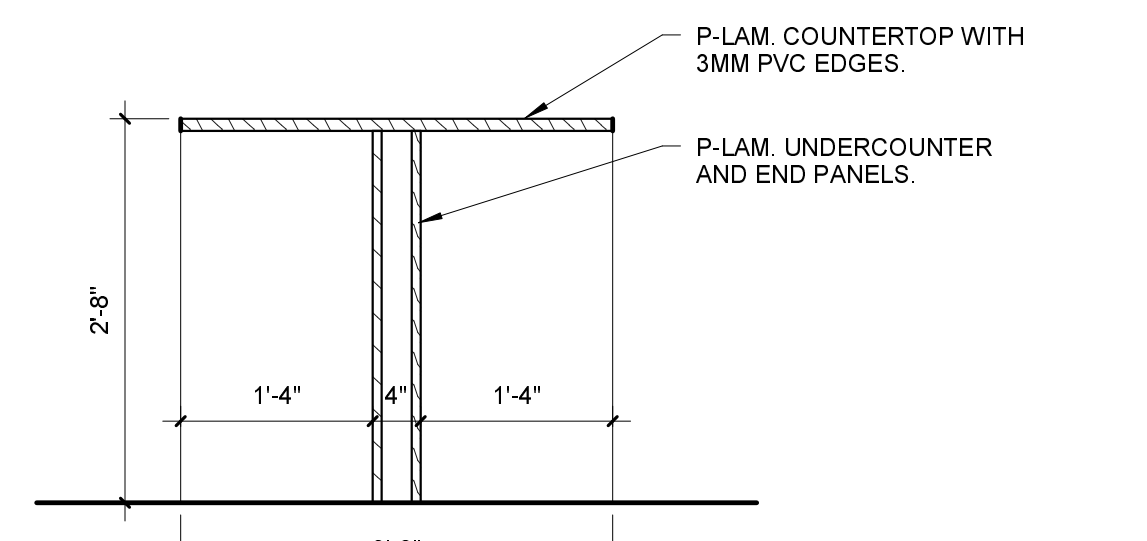
11 BASE CABINET
3/4" = 1'-0"



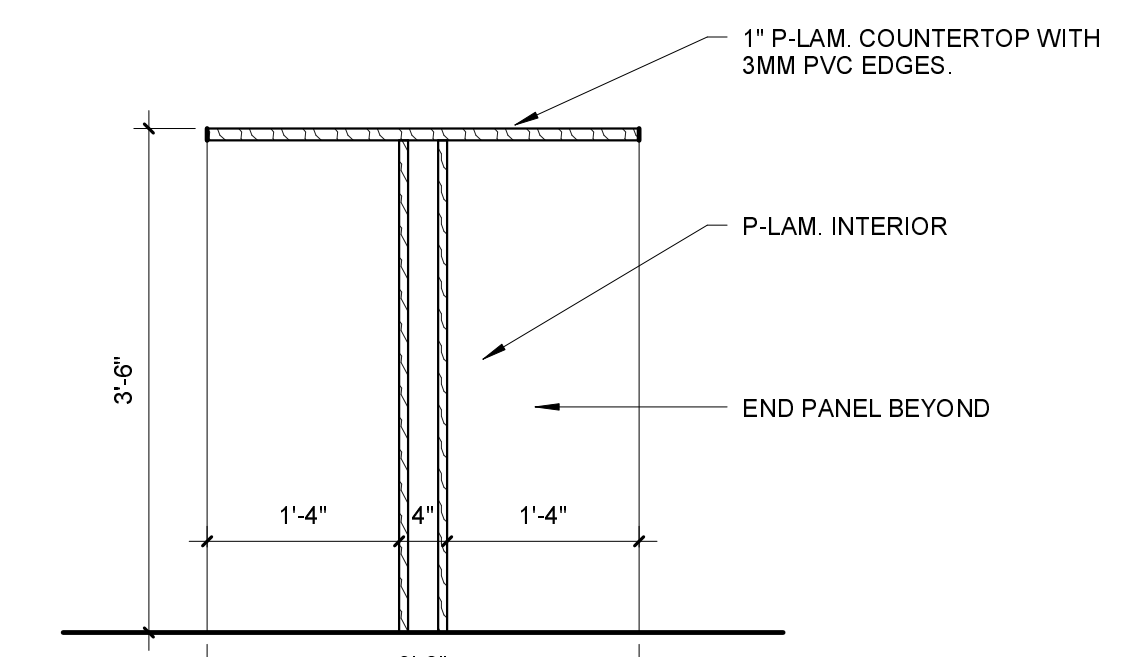
12 ADJUSTABLE SHELVES FULL HEIGHT
3/4" = 1'-0"



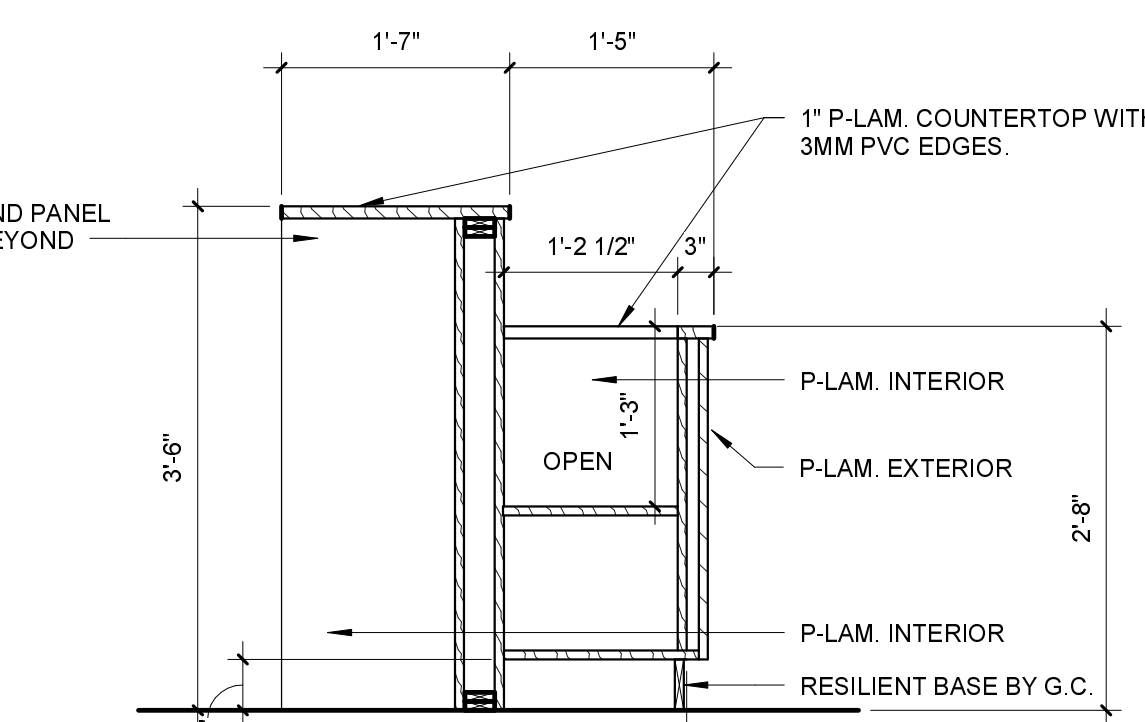
13 UPPER CABINET
3/4" = 1'-0"



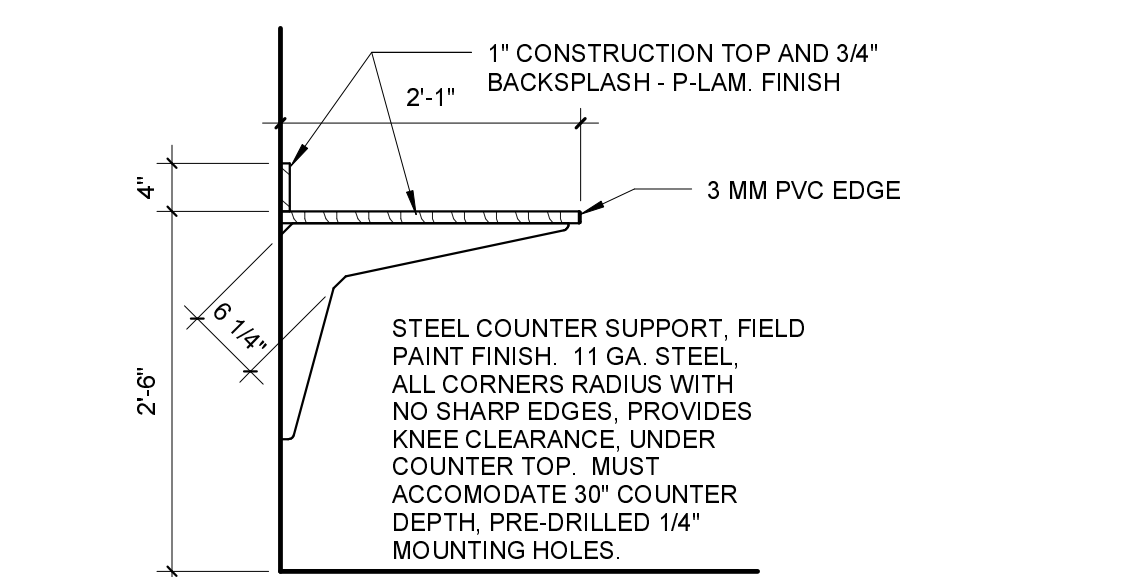
14 PLAN REVIEW COUNTER
3/4" = 1'-0"



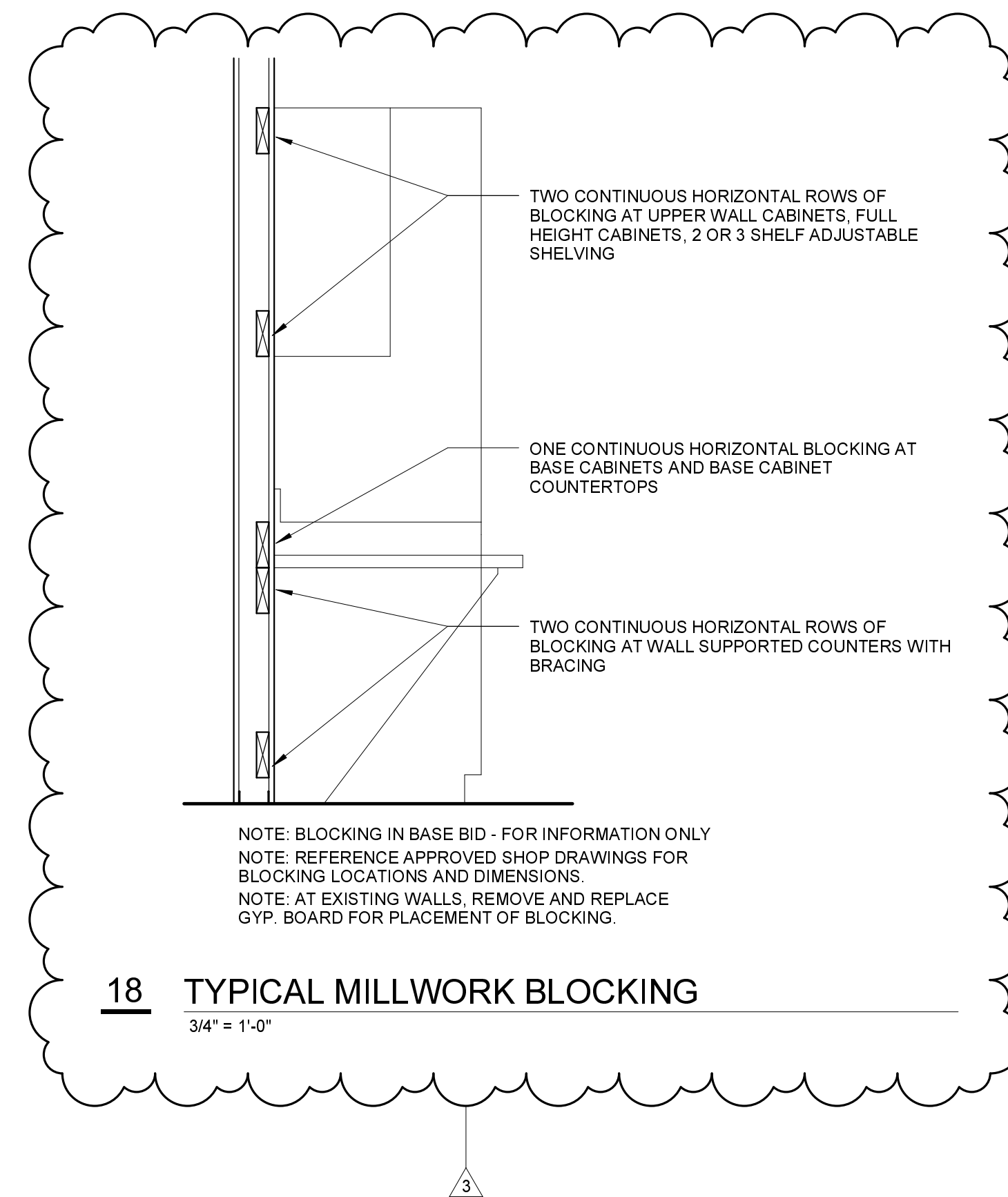
15 PLAN REVIEW COUNTER
3/4" = 1'-0"



16 PLAN REVIEW COUNTER
3/4" = 1'-0"

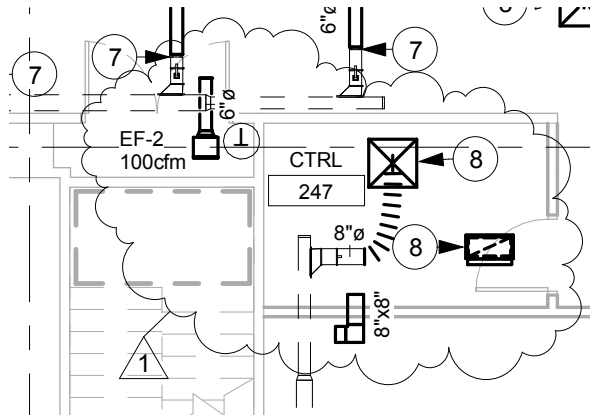


17 COUNTER TOP
3/4" = 1'-0"



18 TYPICAL MILLWORK BLOCKING
3/4" = 1'-0"





FANS

MARK	MFR.	MODEL	TYPE	CFM	ESP (IN.)	AIR TEMP. (°F)	MAX. LWA	FAN DRIVE	RPM	MOTOR HP / (WATTS)	VOLTAGE	OPERATING WEIGHT (LBS.)	CONTROL TYPE (SEE NOTES BELOW)	ACCESSORIES (SEE NOTES BELOW)
EF-1	COOK	GN-186	I	150	0.5	70	65	DIRECT	1100	84W	120/1/60	20	2	2,3,6
EF-2	COOK	GC-148	I	100	0.5	70	65	DIRECT	930	37.6W	120/1/60	12	4	2,3,4

ACCESSORIES	FAN CONTROL TYPES	NOTES
<p>FURNISHED WITH UNIT (FACTORY INSTALLED WHERE POSSIBLE):</p> <ol style="list-style-type: none"> EACH UNIT SHALL BE FURNISHED WITH A 14" HIGH PREMANUFACTURED ROOF CURB SLOPED TO MATCH ROOF FOR LEVEL FAN INSTALLATION. ALL EC DIRECT DRIVE FANS SHALL BE FURNISHED WITH MOTOR MOUNTED SPEED CONTROLLERS. ELECTRIC DISCONNECT METAL CEILING GRILLE MOTORIZED BACKDRAFT DAMPER VIBRATION ISOLATORS WITH MOUNTING RAILS ROOF JACK BIRD SCREEN FIRE RADIATION DAMPER FURNISH WITH VENTED CURB EXTENSION, HINGED BASE KIT, GREASE TROUGH. UNIT SHALL CARRY UL-762 LISTING FOR GREASE EXHAUST. EXPLOSION PROOF MOTOR. 	<ol style="list-style-type: none"> PILOT WALL SWITCH SWITCH WITH LIGHTS TIME CLOCK THERMOSTAT CONTINUOUS OPERATION INTERLOCK WITH KITCHEN EQUIPMENT INTERLOCK WITH DISHWASHER CONTROL CIRCUIT INTERLOCK WITH CO DETECTOR BUILDING CONTROL SYSTEM INTERLOCK WITH DRYER. <p>FURNISHED BY OTHERS:</p> <ol style="list-style-type: none"> ELECTRIC DISCONNECT BY E.C. VFD PROVIDED BY T.C.C. ON RELIEF FANS (RF-X). 	<ol style="list-style-type: none"> BELT DRIVE FAN SELECTIONS SHALL ACCOUNT FOR DRIVE LOSSES. SEE SPECIFICATIONS FOR FAN TYPES. ALL SWITCHES, INTERLOCKS, RELAYS, TRANSFORMERS, TIME CLOCKS, MOTOR STARTER, LINE VOLTAGE THERMOSTATS, ETC., BY E.C. UNLESS NOTED OTHERWISE.

MEi
M I D W E S T
E N G I N E E R I N G , I N C .
W I C H I T A , K A N S A S

SEDGWICK COUNTY
271 W. 3RD ST. BUILDING

Addenda 3
M22.2 HVAC Plan
EF-2 & Duct Change

JOB NO. SJCF #5119.20

DATE 22 FEBRUARY 2016

M1

PAGE



(A) LEVEL 1 - NEW CONSTRUCTION PLAN - POWER
 SCALE: 1/8" = 1'-0"
 NORTH

EXISTING RECEPTACLES TO REMAIN ARE NOT SHOWN.
 MAINTAIN CONTINUITY OF CIRCUIT, AFTER DEMOLITION.

SYMBOL LIST		
SYMBOL	DESCRIPTION	MOUNTING
(A)	FLUORESCENT FIXTURE & FIXTURE LETTER	CEILING
(B)	FLUORESCENT FIXTURE & FIXTURE LETTER	SUSPENDED
\$ S s \$ s \$ s \$ s	SWITCHES (1-POLE, 3-WAY, 4-WAY, PLOT, KEY)	4'-0" TO TOP
(C)	DUPLEX GROUNDED RECEPTACLE	1'-9" AFF
(D)	EXIT FIXT. - SHADING DENOTES FACE(S)	CEIL./WALL
(E)	SPECIAL OUTLET, SEE SCHEDULE OR AS NOTED	
(F)	JUNCTION BOX	
(G)	WALL MOUNTED EMERGENCY LIGHT	SURFACE
(H)	SPECIAL DEVICE AS NOTED ON PLAN	
(I)	BRANCH CIRCUIT PANEL & PANEL DESIG.	6'-6" TO TOP
(J)	CONDUIT RUN 2 #12 & #12 6RD-1/2" C.	CEIL./WALL
(K)	CONDUIT RUN 2 CIRCUITS #12 & #12 6RD-1/2" C.	EARTH/FLOOR
(L)	PARTIAL HOMERUN (MULTIPLE LOAD LOCATIONS)	
(M)	KEY NOTE IDENTIFICATION, SEE SCHEDULE	
(N)	TELEPHONE JACK WITH NUMBER OF JACKS	
(O)	DATA OUTLET WITH NUMBER OF JACKS	
(P)	GPO DUPLEX GROUNDED RECEPTACLE	1'-9" AFF
(Q)	TRV OUTLET AND DUPLEX RECEPT. SEE SPECIAL OUTLET SCH.	RECESS / CEILING

SPECIAL OUTLET SCHEDULE	
SYMBOL	DESCRIPTION
(R)	POWER & DATA ACTIVATION POINT IN UNDER FLOOR DUCT, IF EXISTING
(S)	TELEVISION OUTLET WITH 120V DUPLEX RECEPTACLE MOUNTED BESIDE. STUD 1" CONDUIT TO AV CABINET. VERIFY ALL LOCATIONS AND MOUNTING HEIGHT PRIOR TO ROUGH-IN.

CONTRACTOR SHALL MARK THE EXACT LOCATION OF THE UNDER FLOOR DUCT SYSTEM SO NO DAMAGE WILL OCCUR WHEN INSTALLING ANY NEW WALLS.

MODULAR FURNITURE IS CONNECTED TO POWER AND DATA VIA WHIPS PROVIDED WITH FURNITURE. E.C. TO VERIFY WITH SUPPLIER PRIOR TO ROUGH-IN.

GENERAL NOTES

- CONTRACTOR SHALL DISCONNECT, REMOVE EXISTING FIXTURES, INSTALL NEW FIXTURES AT EXISTING LOCATIONS UNLESS NOTED OTHERWISE. CONTRACTOR SHALL RECONNECT ANY NEW FIXTURES TO EXISTING SPECIAL WIRING, NIGHT LIGHTS, BATTERY BALLAST, ETC. AS REQUIRED BY ANY GOVERNING CODES. CONTRACTOR SHALL REMOVE AND RECONNECT NEW FIXTURES AS REQUIRED. CONTRACTOR SHALL REMOVE AND RECONNECT NEW FIXTURES AS REQUIRED. CONTRACTOR SHALL REMOVE AND RECONNECT NEW FIXTURES AS REQUIRED. CONTRACTOR SHALL REMOVE AND RECONNECT NEW FIXTURES AS REQUIRED.
- CONTRACTOR SHALL REMOVE FROM SITE ALL EXISTING REMOVED FIXTURES LAMPS AND BALLASTS AND DISPOSE OF ITEMS AS REQUIRED BY ANY GOVERNING CODES. AFTER REMOVAL FROM ROOMS OWNER HAS FIRST RIGHT TO SALVAGE PRIOR TO CONTRACTOR REMOVING ITEMS FROM SITE.
- WHERE CEILING FANS OCCUR WITHIN ROOMS, CONTRACTOR SHALL RECONNECT CEILING FANS WIRING SIMILAR TO EXISTING. REWORK CONDUITS OR WIREMOLD AS REQUIRED.
- WHERE SPECIAL WIRING, PROJECTOR CORDS, CABLE, ETC. ARE ATTACHED TO CEILING, AND ARE IN THE WAY OF NEW FIXTURE INSTALLATION, CONTRACTOR SHALL REMOVE AND REATTACHED BACK TO EXISTING CONDITION, THESE CABLES SHALL NOT BE DAMAGED.
- WHERE EXISTING INCANDESCENT CAN FIXTURES ARE REMOVED AND REPLACED WITH NEW FLUORESCENT FIXTURES, CONTRACTOR SHALL DISC. POWER FROM EXISTING FIXTURE AND EXTEND POWER TO NEW FIXTURE. EXISTING RECESS CAN HOUSING CAN REMAIN ABOVE CEILING AND NOT COMPLETELY REMOVED.
- AS THE ELECTRICAL CONTRACTOR IS INSTALLING OR MODIFYING ELECTRICAL WIRING FOR THIS PROJECT AND NOTES A CODE VIOLATION OR OTHER ITEMS NOT MEETING NEC, CODES HE SHALL NOTIFY ARCHITECT IN WRITING AND NOTE ON DRAWINGS SO CORRECTIONS COULD BE MADE BY THIS CONTRACTOR OR THE OWNERS PERSONAL PRIOR TO COMPLETION OF WORK. THIS WILL ALSO INCLUDE OPEN JCT. BOXES.
- MOTION SENSORS ARE CONNECT AHEAD OF ANY SWITCHES, AND SHALL BE CONTROL MAIN CIRCUIT SUPPLYING FIXTURES WITHIN ROOM OR SPACE. WHERE MORE THAN ONE SENSOR IS INDICATED WITHIN ROOM, SENSORS SHALL BE CONNECTED TOGETHER TO ACT AS ONE UNIT. SENSORS SHALL NOT CONTROL ANY HOTS SUPPLYING ANY EXIT OR EMERGENCY LIGHTS WITHIN SPACE. WHERE MULTIPLE UNITS ARE INDICATED WITHIN CORRIDOR THEY SHALL BE EQUALLY SPACED OR LOCATED AT QUARTER POINTS WITHIN ROOMS OR SPACE - POWER PAC REQUIRED WHERE MULTIPLE CIRCUITS ARE REQUIRED.
- DAYLIGHT SENSORS ARE CONNECT AHEAD OF ANY SWITCHES, AND SHALL BE CONTROL MAIN CIRCUIT SUPPLYING FIXTURES WITHIN ROOM OR SPACE. WHERE MORE THAN ONE SENSOR IS INDICATED WITHIN ROOM, SENSORS SHALL BE CONNECTED TOGETHER TO ACT AS ONE UNIT. SENSORS SHALL NOT CONTROL ANY HOTS SUPPLYING ANY EXIT OR EMERGENCY LIGHTS WITHIN SPACE. WHERE MULTIPLE UNITS ARE INDICATED WITHIN CORRIDOR THEY SHALL BE EQUALLY SPACED OR LOCATED AT QUARTER POINTS WITHIN ROOMS OR SPACE - POWER PAC REQUIRED WHERE MULTIPLE CIRCUITS ARE REQUIRED. LOCATE TO CONTROL FIXTURES NEXT TO DAYLIGHT SOURCE AND MANUFACTURER'S INSTRUCTION.
- WHERE EXISTING CONDUIT IS MOUNTED SURFACE SUPPLYING LIGHTING FIXTURE, MOTION SENSORS SHALL BE MOUNTED ON SURFACE BOY AND CONDUIT ROUTED ON SURFACE. ALL EXPOSED CONDUITS SHALL BE PAINTED TO MATCH SURROUNDING SURFACES, WHERE ITEMS IN AREA ARE FINISHED.

POWER CIRCUIT NOTES:

- TO EXISTING CIRCUIT OR CIRCUITS IN AREA, CONTRACTOR TO VERIFY.
- TO NEW 20A/1P CIRCUIT BREAKER IN EXISTING PANEL.
- TO EXISTING 20A/1P DEDICATED CIRCUIT IN UNDER FLOOR DUCT SYSTEM.
- PROVIDE ACTIVATION IN EXISTING UNDER FLOOR RACEWAY DUCT - REVISE EXISTING ACTIVATIONS, NEW OUTLET AND PHONE / DATA CABLES BACK TO IT ROOM. CONNECT CIRCUIT TO EXISTING UNDER FLOOR DUCT SYSTEM CIRCUIT.



ENGINUTY
 Consulting Engineers
 155 N. Meade
 Wichita, KS 67202
 Phone: (316) 239-7999
 Fax: (316) 239-7997

SEDGWICK COUNTY
 271 W. 3RD ST. BUILDING
 WICHITA, KANSAS 67202

©2015
 Schaefer Johnson Cox Frey Architecture, Inc.
 All Rights Reserved.
 These drawings and their contents, including, but not limited to, all concepts, designs, & ideas are the exclusive property of Schaefer Johnson Cox Frey (SJCF), and may not be used or reproduced in any way without the express consent of SJCF.

Revisions	
ADDENDUM #3	
02-20-16	

Project Number
SJCF 0000.00

Date
01-26-16

**LEVEL 1
 NEW CONSTRUCTION
 PLAN - POWER
 1/8" = 1'-0"**

E1.1



A LEVEL 2 - NEW CONSTRUCTION PLAN - POWER
 SCALE: 1/8" = 1'-0"
 NORTH

EXISTING RECEPTACLES TO REMAIN ARE NOT SHOWN.
 MAINTAIN CONTINUITY OF CIRCUIT, AFTER DEMOLITION.

SYMBOL LIST		
SYMBOL	DESCRIPTION	MOUNTING
(A)	FLUORESCENT FIXTURE # FIXTURE LETTER	CEILING
(B)	FLUORESCENT FIXTURE # FIXTURE LETTER	SUSPENDED
(C)	SWITCHES (1-POLE, 3-WAY, 4-WAY, PILOT, KEY)	4'-0" TO TOP
(D)	DUPLEX GROUNDED RECEPTACLE	1'-3" AFF
(E)	EXIT FIXT. - SHADING DENOTES FACE(S)	CEIL/WALL
(F)	SPECIAL OUTLET, SEE SCHEDULE OR AS NOTED	
(G)	JUNCTION BOX	
(H)	WALL MOUNTED EMERGENCY LIGHT	SURFACE
(I)	SPECIAL DEVICE AS NOTED ON PLAN	
(J)	BRANCH CIRCUIT PANEL # PANEL DESIG.	6'-6" TO TOP
(K)	CONDUIT RUN 2 #12 & 1 #12 GRD. -1/2"Ø	CEIL/WALL
(L)	CONDUIT RUN 2 CIRCUITS #12 & 1 #12 GRD. -1/2"Ø	EARTH/FLOOR
(M)	PARTIAL HOMERUN (MULTIPLE LOAD LOCATIONS)	
(N)	KEY NOTE IDENTIFICATION, SEE SCHEDULE	
(O)	TELEPHONE JACK WITH NUMBER OF JACKS	
(P)	DATA OUTLET WITH NUMBER OF JACKS	
(Q)	GFO DUPLEX GROUNDED RECEPTACLE	1'-3" AFF
(R)	PRE-ALARM SIGNALS	RECESS/CEILING
(S)	DOUBLE DUPLEX RECEPTACLE	1'-3" AFF

- ### GENERAL NOTES
- CONTRACTOR SHALL DISCONNECT, REMOVE EXISTING FIXTURES, INSTALL NEW FIXTURES AT EXISTING LOCATIONS UNLESS NOTED OTHERWISE. CONTRACTOR SHALL RECONNECT ANY NEW FIXTURES TO EXISTING SPECIAL WIRING, NIGHT LIGHTS, BATTERY BALLAST, ETC. AS REQUIRED TO MAINTAIN EXISTING CONDITIONS. CONTRACTOR TO CONNECT TO EXISTING CIRCUITS WITHIN ROOM. EXISTING CIRCUITS MAYBE HARD PIPED BETWEEN FIXTURES. CONTRACTOR SHALL REMOVE AND CONNECT NEW FIXTURES AS REQUIRED. INSTALL JCT. BOXES AND USE FLEX WIRING TO EACH FIXTURE. DO NOT DAISY CHAIN FIXTURES TOGETHER. CONTRACTOR IS RESPONSIBLE TO VERIFY CONDITIONS AT SITE PRIOR TO BIDDING.
 - CONTRACTOR SHALL REMOVE FROM SITE ALL EXISTING REMOVED FIXTURES LAMPS AND BALLAST AND DISPOSE OF ITEMS AS REQUIRED BY ANY GOVERNING BODIES. AFTER REMOVAL FROM ROOMS OWNER HAS FIRST RIGHT TO SALVAGE PRIOR TO CONTRACTOR REMOVING ITEMS FROM SITE.
 - WHERE CEILING FANS OCCUR WITHIN ROOMS, CONTRACTOR SHALL RECONNECT CEILING FANS WIRING SIMILAR TO EXISTING. REWORK CONDUITS OR WREVOID AS REQUIRED.
 - WHERE SPECIAL WIRING, PROJECTOR CORDS, CABLE, ETC. ARE ATTACHED TO CEILING, AND ARE IN THE WAY OF NEW FIXTURE INSTALLATION, CONTRACTOR SHALL REMOVE AND REATTACHED BACK TO EXISTING CONDITION. THESE CABLES SHALL NOT BE DAMAGED.
 - WHERE EXISTING INCANDESCENT CAN FIXTURES ARE REMOVED AND REPLACED WITH NEW FLUORESCENT FIXTURES, CONTRACTOR SHALL DISC. POWERS FROM EXISTING FIXTURE AND EXTEND POWER TO NEW FIXTURE. EXISTING RECESSED CAN HOUSING CAN REMAIN ABOVE CEILING AND NOT COMPLETELY REMOVED.
 - AS THE ELECTRICAL CONTRACTOR IS INSTALLING OR MODIFYING ELECTRICAL WIRING FOR THIS PROJECT AND NOTES A CODE VIOLATION OR OTHER ITEMS NOT MEETING N.E.C. CODES, HE SHALL NOTIFY ARCHITECT IN WRITING AND NOTE LOCATION ON DRAWINGS SO CORRECTIONS COULD BE MADE BY THIS CONTRACTOR OR THE OWNERS PERSONAL PRIOR TO COMPLETION OF WORK. THIS WILL ALSO INCLUDE OPEN JCT. BOXES.
 - MOTION SENSORS ARE CONNECT AHEAD OF ANY SWITCHES, AND SHALL BE CONTROL MAIN CIRCUIT SUPPLYING FIXTURES WITHIN ROOM OR SPACE. WHERE MORE THAN ONE SENSOR IS INDICATED WITHIN ROOM, SENSORS SHALL BE CONNECTED TOGETHER TO ACT AS ONE UNIT. SENSORS SHALL NOT CONTROL ANY HOTS SUPPLYING ANY EXIT OR EMERGENCY LIGHTS WITHIN SPACE. WHERE MULTIPLE UNITS ARE INDICATED WITHIN CORRIDOR, THEY SHALL BE EQUALLY SPACED OR LOCATED AT QUARTER POINTS WITHIN ROOMS OR SPACE - POWER FAC REQUIRED WHERE MULTIPLE CIRCUITS ARE REQUIRED.
 - DAYLIGHT SENSORS ARE CONNECT AHEAD OF ANY SWITCHES AND SHALL BE CONTROL MAIN CIRCUIT SUPPLYING FIXTURES WITHIN ROOM OR SPACE. WHERE MORE THAN ONE SENSOR IS INDICATED WITHIN ROOM, SENSORS SHALL BE CONNECTED TOGETHER TO ACT AS ONE UNIT. SENSORS SHALL NOT CONTROL ANY HOTS SUPPLYING ANY EXIT OR EMERGENCY LIGHTS WITHIN SPACE. WHERE MULTIPLE UNITS ARE INDICATED WITHIN CORRIDOR, THEY SHALL BE EQUALLY SPACED OR LOCATED AT QUARTER POINTS WITHIN ROOMS OR SPACE - POWER FAC REQUIRED WHERE MULTIPLE CIRCUITS ARE REQUIRED. LOCATE TO CONTROL FIXTURES NEW TO DAYLIGHT SOURCE AND MANUFACTURER'S INSTRUCTION.
 - WHERE EXISTING CONDUIT IS MOUNTED SURFACE SUPPLYING LIGHTING FIXTURE, MOTION SENSORS SHALL BE MOUNTED ON SURFACE BOX AND CONDUIT ROUTED ON SURFACES. ALL EXPOSED CONDUITS SHALL BE PAINTED TO MATCH SURROUNDING SURFACES, WHERE ITEMS IN AREA ARE FINISHED.

SPECIAL OUTLET SCHEDULE

SYMBOL	DESCRIPTION
(A)	POWER & DATA ACTIVATION POINT IN UNDER FLOOR DUCT. IF EXISTING ACCESS POINT IS AVAILABLE, REUSE IN LUE OF NEW ACTIVATION

CONTRACTOR SHALL MARK THE EXACT LOCATION OF THE UNDER FLOOR DUCT SYSTEM SO NO DAMAGE WILL OCCUR WHEN INSTALLING ANY NEW WALLS.

MODULAR FURNITURE IS CONNECTED TO POWER AND DATA VIA WHIPS PROVIDED WITH FURNITURE. E.G. TO VERIFY WITH SUPPLIER PRIOR TO ROUGH-IN.

- ### POWER CIRCUIT NOTES:
- TO EXISTING CIRCUIT OR CIRCUITS IN AREA. CONTRACTOR TO VERIFY.
 - TO NEW 20A/1P CIRCUIT BREAKER IN EXISTING PANEL.
 - VERIFY ANY CONNECTION POWER / DATA REQUIREMENTS AT RECEPTION DESK.
 - PROVIDE ACTIVATION IN EXISTING UNDER FLOOR RACEWAY DUCT. REVISE EXISTING ACTIVATIONS, NEW OUTLET AND PHONE / DATA CABLING BACK TO 1" ROOM. CONNECT CIRCUIT TO EXISTING UNDER FLOOR DUCT SYSTEM CIRCUIT.
 - RECEPTACLE FOR ANTENNA HARD OF HEARING MTD. @ 84". CONNECT TO LOCAL 120V CIRCUIT.
 - 1" CONDUIT TO AC CABINET. VERIFY LOCATION PRIOR TO ROUGH-IN.
 - JCT. BOX FLUSH IN WALL WITH 1/2" C. TO CONTROL ROOM FOR MEDIA FEED.
 - OUTLETS FOR WIRELESS HEAD PHONE CHARGING STATION MT. OUTLETS AT 36" - VERIFY HEIGHTS PRIOR TO ROUGH-IN.
 - CONNECT POWERED SCREEN.
 - 6" X 6" X 4" BOX WITH (2) 1" CONDUITS INTO CEILING VOID FOR CAMERAS.
 - 6" X 6" X 4" BOX WITH (2) 1" CONDUIT INTO CEILING VOID FOR SPEAKERS.
 - JCT. BOX IN WALL WITH 1" CONDUIT INTO UNDER FLOOR DUCT SYSTEM FOR MIC. OUTLET AT END OF TABLES.
 - CONNECT EXHAUST FAN # 2. TIE TO THERMOSTAT AND 120 VOLT CIRCUIT IN AREA.
 - RECEPTACLE FOR DIGITAL CLOCK - 84" A.F.F.



©2015
 Schaefer Johnson Cox Frey Architecture, Inc.
 All Rights Reserved.
 These drawings and their contents, including, but not limited to, all concepts, designs, & ideas are the exclusive property of Schaefer Johnson Cox Frey (SJCF), and may not be used or reproduced in any way without the express consent of SJCF.

Revisions

NO.	DATE	DESCRIPTION
1	02-20-16	
2		
3		
4		
5		

Project Number
SJCF 0000.00

Date
01-26-16

LEVEL 2
NEW CONSTRUCTION
PLAN - POWER
 1/8" = 1'-0"

E2.1



ENGINUNITY
 Consulting Engineers
 155 N. Lincoln
 Wichita, KS 67202
 Phone: (316) 239-7999
 Fax: (316) 239-7997

SEDGWICK COUNTY
 271 W. 3RD ST. BUILDING
 WICHITA, KANSAS 67202

©2015
 Schaefer Johnson Cox Frey Architecture, Inc.
 All Rights Reserved
 These drawings and their contents, including, but not limited to, all concepts, designs, & ideas are the exclusive property of Schaefer Johnson Cox Frey (SJCF), and may not be used or reproduced in any way without the express consent of SJCF.

Revisions

NO.	DATE	DESCRIPTION
1	02-22-16	
2		
3		
4		
5		

Project Number
SJCF 0000.00

Date
01/26/16

**LEVEL 2
 NEW CONSTRUCTION
 PLAN - LIGHTING
 1/8" = 1'-0"**

E2.2

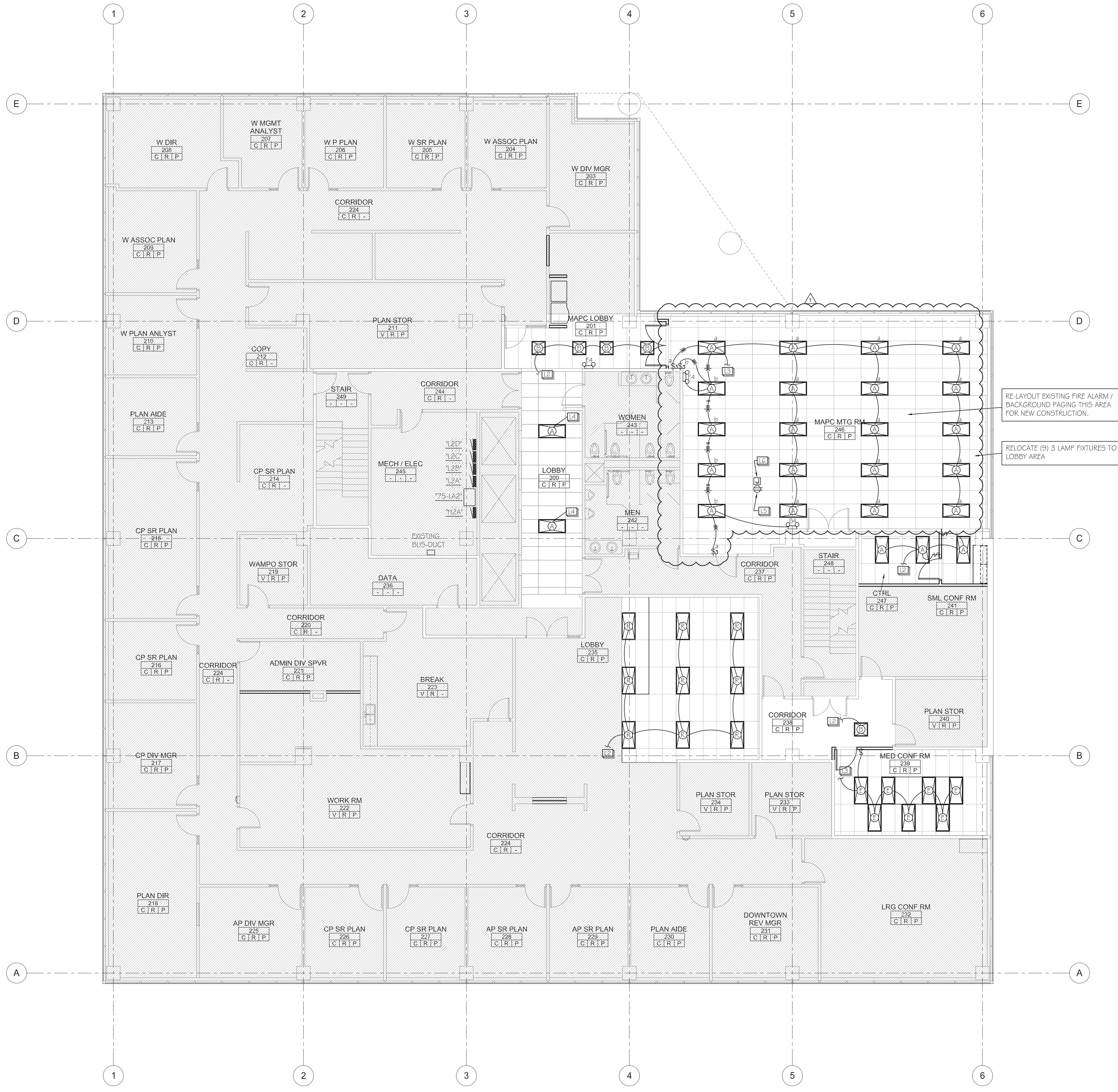
LIGHTING FIXTURE SCHEDULE

SYM	DESCRIPTION	LAMP		MOUNTING	NOTES
		TYPE	CODE		
A	NEW 2' X 4' RECESSED LENSED TROFFER TO MATCH EXISTING	-	-	RECESS / CEILING	-
B	NEW 2' X 2' RECESSED LENSED TROFFER TO MATCH EXISTING	-	-	RECESS / CEILING	-
E	EXISTING RECESSED LIGHT FIXTURE TO REMAIN	-	-	RECESS / CEILING	-
R	EXISTING 2' X 4' RECESSED LENSED TROFFER TO BE RELOCATED	-	-	RECESS / CEILING	-
⊕	EXISTING EXIT LIGHT (WITH BATTERY BACK-UP)	LED	INCLUDED	CEILING/VARIABLES	2
⊕	NEW EXIT LIGHT (WITH BATTERY BACK-UP)	LED	INCLUDED	CEILING/VARIABLES	2
⊕	EXISTING EMERGENCY LIGHT (WITH BATTERY BACK-UP)	HALOGEN	INCLUDED	7'-6" A.F.F.	2
⊕	NEW EMERGENCY LIGHT (WITH BATTERY BACK-UP)	HALOGEN	INCLUDED	7'-6" A.F.F.	2

NOTES:

- GENERAL CONTRACTOR SHALL PROVIDE FIREPROOFING AROUND ANY RECESSED LIGHT FIXTURE INSTALLED IN A FIRE RATED CEILING PER U.L. REQUIREMENTS. ELECTRICAL CONTRACTOR SHALL COORDINATE.
- EXIT AND EMERGENCY LIGHTS TO BE CONNECTED TO CIRCUIT AS NOTED, UN-SWITCHED

- 12 LIGHTING NOTES:**
- EXISTING LIGHTING IN THIS AREA SHALL REMAIN AS IS, UNLESS OTHERWISE NOTED.
 - CONNECT TO THE EXISTING LIGHTING CIRCUIT IN THE AREA AND CONTROL WITH THE EXISTING LIGHTING.
 - CONNECT TO THE EXISTING LIGHTING CIRCUIT IN THE AREA AND CONTROL FROM SWITCH AS SHOWN.
 - FURNISH AND INSTALL A NEW TYPE 'X' FIXTURE IN THE EXISTING CORRIDOR LAY-IN CEILING. CONNECT TO THE EXISTING LIGHTING CIRCUIT IN THE AREA AND CONTROL WITH EXISTING LIGHTING.
 - CONNECT TO 120V CIRCUIT IN AREA. (PROJECTOR)
 - 1" CONDUIT BACK TO CONTROL ROOM JCT. BOX 36" AFF. VERIFY LOCATION.



A LEVEL 2 - NEW CONSTRUCTION PLAN - LIGHTING
 SCALE: 1/8" = 1'-0"
 NORTH