



SEDGWICK COUNTY, KANSAS  
*DIVISION OF FINANCE*  
Purchasing Department  
Joseph Thomas, Purchasing Director  
525 N. Main, Suite 823 ~ Wichita, KS 67203  
Phone: 316 660-7255 Fax: 316 383-7055  
<http://sedgwickcounty.org/finance/purchasing.asp>

**ADDENDUM 1**  
**16-0031**  
**WORK RELEASE CENTER PARKING LOT ADA AND MASTER CONTROL UPGRADE**

March 25, 2016

The following is to ensure that vendors have complete information prior to submitting a bid. Here are some clarifications regarding the bid for Work Release Center.

**Please review the attached supplemental information to the project prepared by the Engineers and Architects.**

CONTINUED ON NEXT PAGE



## Addendum No. 1

Project name:	Sedgwick County Work Release Center	Client:	Sedgwick County
Project location:	Parking Lot, ADA & Master Control Upgrade	Client representative:	Tania Cole
Project number:	Wichita, KS	Mead & Hunt, Inc. manager:	Jeff Pronschinske
Date:	4311900.155639.01	Mead & Hunt Inc. phone:	(262)790-0232
	March 25, 2016		

TO ALL BIDDERS: You are requested to make all changes and/or additions contained in this Addendum to the Bidding Documents. Failure to acknowledge this Addendum in Proposal shall result in rejection of bid.

### A. CHANGES TO DRAWINGS

#### 1. **Sheet – CODE – Code Plan**

- a. Add CODE plan in its entirety as attached to this Addendum.

#### 2. **Sheet C011 – Site Plan**

- a. Site Plan "A"
  - i. The drawing shall be corrected to show the location of the existing accessible curb ramp. No work required with this contract.
  - ii. The note regarding the subsurface stabilization on the new concrete paving shall be changed to read as follows:  
"The existing soil stabilization shall remain. Once the pavement has been removed, proof roll with a loaded tandem axle truck with Architect to witness condition and soil response."
- b. Details 2 and 3
  - i. Both these details shall be corrected to reflect the size, shape and color schemes specified in the Federal Manual on Uniform Traffic Control Devices that has been adopted by the City of Wichita.
- c. Detail 6
  - i. The note regarding the subsurface compaction shall be changed to be as noted for the Site Plan "A" above.
- d. Detail 16
  - i. Detail 16 illustrates the existing curb cut. This detail does not require any new work in this contract.

#### 3. **Sheet C012 – Enlarged Paving Plan**

- a. Enlarged Paving Plan "A"
  - i. The note regarding the subsurface compaction shall be changed to be as noted for the Site Plan "A" above.
- b. Crack Repair Plan "B"
  - i. The drawing shall be revised to show the existing curb ramp.

- c. Seal Coat Plan "C"
  - i. The drawing shall be revised to show the existing curb ramp.

#### **4. Sheet A011 – Details**

- a. Holding Cell – Demo Plan "A"
  - i. The note regarding the light switch shall be corrected by changing the term "light switch" to "call button". The existing light switch is located outside of the cell, and is not changed by this contract. The "call button" shall be installed at a height that is compliant with the ADA.
  - ii. The existing floor drain shall be removed and relocated to a new location as part of this project; this is being done to move it out of the path of the new screen wall construction.
- b. Holding Cell – Floor Plan "B"
  - i. The Floor Plan shall be increased to show the space to the North of the holding cells. In this room there is a water line and shut off valve that extends above the finished floor. The Plumbing Contractor shall cut off this water line in the tunnel below and install a new shut-off ball valve. The hole in the floor shall be filled and patched by the General Contractor.
  - ii. A note shall be added regarding the relocation of the existing floor drain.
- c. Detail 6 – Footing Detail
  - i. #4 vertical reinforcing rebar @ 16" o.c. shall be added to the screen wall construction.
- d. Detail 8 – Plan Detail and Wall Type "B1"
  - i. #4 vertical reinforcing rebar @ 16" o.c. shall be added to the screen wall construction.
- e. Project Directory
  - i. Delete the reference to D & B Engineering.

#### **5. Sheet M101 – Mechanical – Ground Floor**

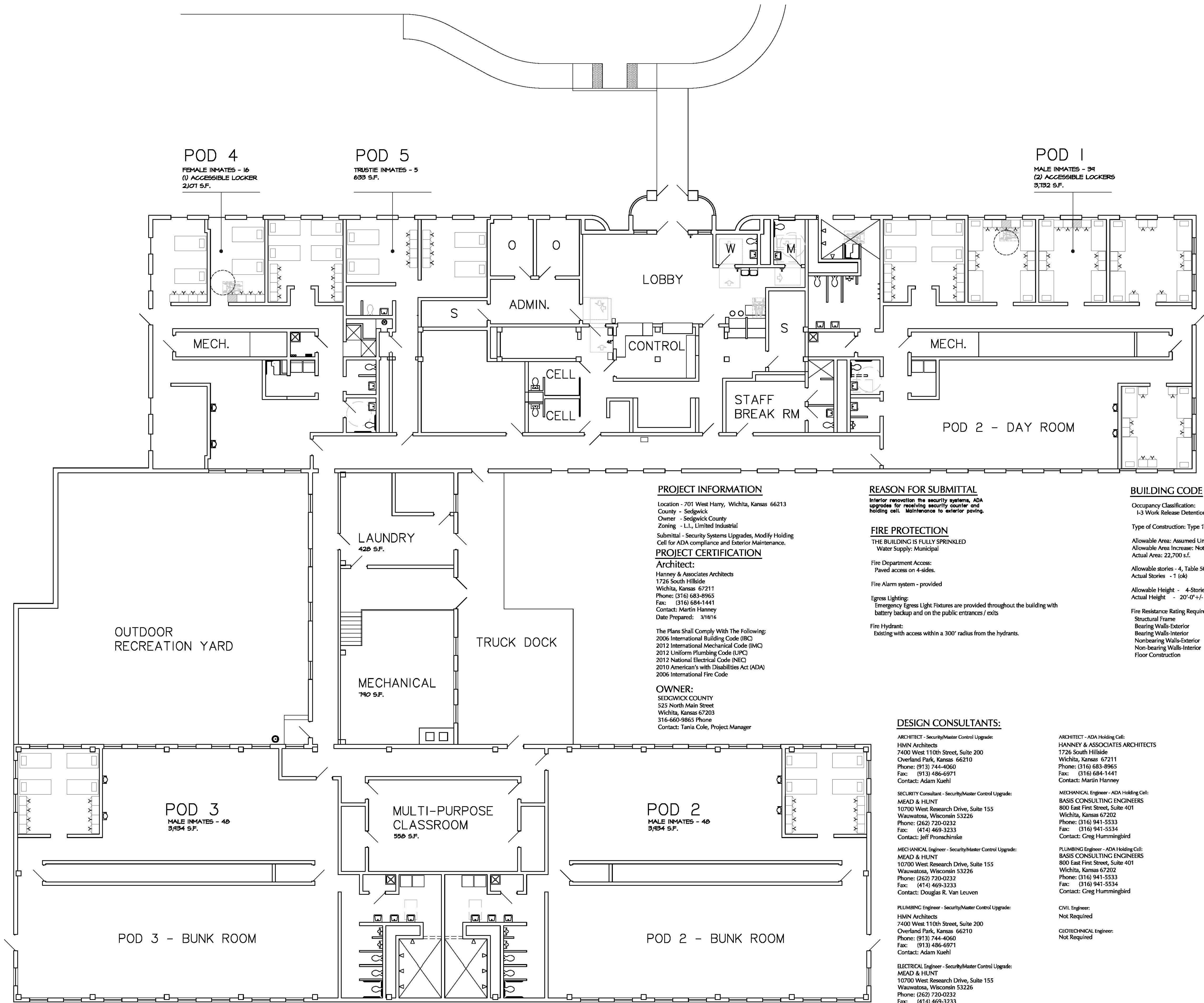
- a. The existing floor drain shall be removed and a new one installed in a location clear of the new screen wall. The exact location shall be determined by the architect, but in no case shall the edge of the floor drain be closer to the screen wall than 6" .
- b. In the room immediately North of the Holding Cell being renovated, there is a water line and shut off valve that extends above the finished floor. The Plumbing Contractor shall cut off this water line in the tunnel below and install a new shut-off ball valve. The hole in the floor shall be filled and patched by the General Contractor.

END OF ADDENDUM

Consultant:

**HANNEY & ASSOCIATES, ARCHITECTS**  
1726 South Hillside, Wichita, Kansas 67211  
Phone: (316) 884-1441  
Fax: (316) 884-1441

## SEDGWICK COUNTY WORK RELEASE CENTER PARKING LOT, ADA AND MASTER CONTROL UPGRADE WICHITA, KANSAS



### PROJECT INFORMATION

Location - 701 West Harry, Wichita, Kansas 66213  
County - Sedgwick  
Owner - Sedgwick County  
Zoning - L.I., Limited Industrial  
Submittal - Security Systems Upgrades, Modify Holding Cell for ADA compliance and Exterior Maintenance.

### PROJECT CERTIFICATION

**Architect:**  
Hanney & Associates Architects  
1726 South Hillside  
Wichita, Kansas 67211  
Phone: (316) 883-8965  
Fax: (316) 884-1441  
Contact: Martin Hanney  
Date Prepared: 3/18/16

The Plans Shall Comply With The Following:  
2006 International Building Code (IBC)  
2012 International Mechanical Code (IMC)  
2012 Uniform Plumbing Code (UPC)  
2012 National Electrical Code (NEC)  
2010 American's with Disabilities Act (ADA)  
2006 International Fire Code

**OWNER:**  
SEDGWICK COUNTY  
525 North Main Street  
Wichita, Kansas 67203  
316-660-9865 Phone  
Contact: Tania Cole, Project Manager

### REASON FOR SUBMITTAL

Interior renovation the security systems, ADA upgrades for receiving security counter and holding cell. Maintenance to exterior paving.

### FIRE PROTECTION

THE BUILDING IS FULLY SPRINKLED  
Water Supply: Municipal

### Fire Department Access:

Paved access on 4-sides.

### Fire Alarm system - provided

### Egress Lighting:

Emergency Egress Light Fixtures are provided throughout the building with battery backup and on the public entrances / exits

### Fire Hydrant:

Existing with access within a 300' radius from the hydrants.

### BUILDING CODE

Occupancy Classification:  
I-3 Work Release Detention Center

### Type of Construction: Type 1B

Allowable Area: Assumed Unlimited Area, Table 503  
Allowable Area Increase: Not Required  
Actual Area: 22,700 s.f.

### Allowable stories - 4, Table 503

Actual Stories - 1 (ok)

### Allowable Height - 4-Stories

Actual Height - 20'-0" +/-

### Fire Resistance Rating Requirements, Table 601:

Structural Frame	2
Bearing Walls-Exterior	2
Bearing Walls-Interior	2
Non-bearing Walls-Exterior	1, Table 602
Non-bearing Walls-Interior	0
Floor Construction	1

### DESIGN CONSULTANTS:

**ARCHITECT - Security/Master Control Upgrade:**  
HMN Architects  
7400 West 110th Street, Suite 200  
Overland Park, Kansas 66210  
Phone: (913) 744-4060  
Fax: (913) 486-6971  
Contact: Adam Kuehl

**SECURITY Consultant - Security/Master Control Upgrade:**  
MEAD & HUNT  
10700 West Research Drive, Suite 155  
Wauwatosa, Wisconsin 53226  
Phone: (262) 720-0232  
Fax: (414) 469-3233  
Contact: Jeff Pronschinski

**MECHANICAL Engineer - Security/Master Control Upgrade:**  
MEAD & HUNT  
10700 West Research Drive, Suite 155  
Wauwatosa, Wisconsin 53226  
Phone: (262) 720-0232  
Fax: (414) 469-3233  
Contact: Douglas R. Van Leuven

**PLUMBING Engineer - Security/Master Control Upgrade:**  
HMN Architects  
7400 West 110th Street, Suite 200  
Overland Park, Kansas 66210  
Phone: (913) 744-4060  
Fax: (913) 486-6971  
Contact: Adam Kuehl

**ELECTRICAL Engineer - Security/Master Control Upgrade:**  
MEAD & HUNT  
10700 West Research Drive, Suite 155  
Wauwatosa, Wisconsin 53226  
Phone: (262) 720-0232  
Fax: (414) 469-3233  
Contact: Aaron R. Gudeyon

**ARCHITECT - ADA Holding Cell:**  
HANNEY & ASSOCIATES ARCHITECTS  
1726 South Hillside  
Wichita, Kansas 67211  
Phone: (316) 883-8965  
Fax: (316) 884-1441  
Contact: Martin Hanney

**MECHANICAL Engineer - ADA Holding Cell:**  
BASIS CONSULTING ENGINEERS  
800 East First Street, Suite 401  
Wichita, Kansas 67202  
Phone: (316) 941-5533  
Fax: (316) 941-5534  
Contact: Greg Hummingbird

**PLUMBING Engineer - ADA Holding Cell:**  
BASIS CONSULTING ENGINEERS  
800 East First Street, Suite 401  
Wichita, Kansas 67202  
Phone: (316) 941-5533  
Fax: (316) 941-5534  
Contact: Greg Hummingbird

**CIVIL Engineer:**  
Not Required

**GEOTECHNICAL Engineer:**  
Not Required

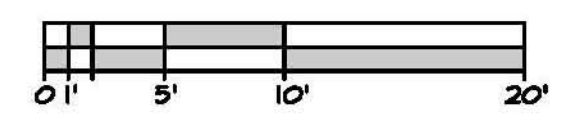
Sheet Title:

No.	Date	Description	By:
1	8/5/15	35% PROGRESS DOCUMENTS	MRH
2	9/21/15	60% PROGRESS DOCUMENTS	MRH
3	1/29/16	100% BD DOCUMENTS	MRH
4	3/18/16	CODE REVIEW	MRH

Project Number:	Designed By:
4311900.155639.01	MRH
Date Issued:	Reviewed By:
01-29-2016	MRH

Sheet Number:

# CODE



Firms interested in submitting a bid, must respond with complete information and **deliver on or before 1:45 p.m. CST Tuesday March 1st**. Late bids will not be accepted and will not receive consideration for final award.

**“PLEASE ACKNOWLEDGE RECEIPT OF THIS ADDENDUM ON THE BID RESPONSE PAGE.”**

A handwritten signature in black ink that reads "Kimberly Evans". The signature is written in a cursive, flowing style.

Kimberly Evans  
Purchasing Agent  
[Kimberly.J.Evans@sedgwick.gov](mailto:Kimberly.J.Evans@sedgwick.gov)