



SEDGWICK COUNTY, KANSAS
FINANCE DEPARTMENT
Division of Purchasing
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August 12, 2016

Addendum Number One

To The Drawings and Specifications for:
Sedgwick County Park – ADA Improvements (RFP#16-0077)
6501 W. 21st Street North
Wichita, KS 67205

HANNEY & ASSOCIATES ARCHITECTS

1726 South Hillside
Wichita, Kansas 67211

NOTICE TO BIDDERS

You are hereby instructed to include in your bids the following changes and/or corrections to the Drawings and Specifications for the **Sedgwick County Park Shelter** in Wichita, Kansas.

The additions and/or corrections shall be considered as a part of the Contract Documents as if incorporated therein. Where the following corrections and/or additions vary from the conditions of the Drawings and Specifications, such following changes or additions shall govern.

I. GENERAL CLARIFICATIONS:

- 1.1 The Bid Date and Time shall remain unchanged.
- 1.2 Lake Elevation:
The lake elevation is currently at standard pool. The new gangway head wall shall be located 5'-0" from the current waters edge.
- 1.3 Benchmark:
 - a. The benchmark will be the existing concrete slab from the previous shelter. It is assumed that this slab is at elevation 99.60. The General Contractor shall include in their base bid time to shoot in the elevations of the site to verify the conditions shown on the plans.
 - b. The gangway headwall shall be located approximately 5'-0" away from the current water line.
 - c. The elevation of the water line is assumed to be 89'-6" as shown on SP-1.

- d. The sidewalk that accesses the new gangway shall be 3' above the current surface of the water. The General Contractor shall use barrow as required to fill for the sidewalk at and approaching the headwall.
- 1.4 Phasing:
No specific phasing is required by the County on this project. The phasing / sequence of construction set by the General Contractor in order to meet the completion date.
- 1.5 Products or manufacturers approved as "Equals" shall meet all requirements of the plans, specifications, standards of performance and construction as established by the product or manufacturer originally specified.
 - a. GatorDock is not approved as an equal to the Wahoo dock for this project.
- 1.6 Electrical Service:
The existing electrical service can be used for construction (without cost to the contractors).
- 1.7 Plan Review and Permit Fees:
 - a. The Plan Review was paid for by the Owner (Sedgwick County).
 - b. Any permits that are required for this project will be the responsibility of the General Contractor.
- 1.8 Location of trees:
The new sidewalk is planned to go between the existing trees. No tree removal will be required with this project. Sheet SP-1 is being re-issued with this addendum to show the locations of the trees.
- 1.9 Site Restoration:
 - a. The site shall be filled and graded to restore it to a condition equal to or better than the condition prior to construction.
 - b. Shore line – the shoreline can be allowed to re-vegetate to its natural state. From the new gangway head wall to the waters edge the General Contractor shall install 15-tons or rip-rap. An example of this construction can be found on the West side of Lake Afton.
 - c. Lawn Restoration: At the completion of this project, the lawn shall be restored by filling in the edges of new work with lightly compacted top soil (tapering out away from the work at a 1:20 minimum slope). Break up clods to pea size and seeding the areas.
 - d. Grass:
Refer to the note on Sheet SP-1
- 1.10 Construction Staging:
The area North of the old shelter slab may be used as a staging area.
- 1.11 Bollards:
No bollards are required at the yard dumpster slab.
- 1.12 Picnic Tables:
 - a. All of the picnic tables, (ADA and Non-ADA) will be provided and installed by GC. Sedgwick County will not provide any picnic tables.

- b. No substitutes have been submitted for consideration; therefore the tables will be Pilot Rock per the specification.
 - c. The owner would like the planking to be white pine, construction grade 2 x 10's painted white with exterior grade paint. The planking will be by the GC in addition to the picnic table frames.
- 1.13 The General Contractor is to rough in a conduit under slab for the electrical which will feed the new electrical panel.

1.14 PAINT:

The Paint Specification is based on Sherwin-Williams, Other products will be considered for approved Equal.

a. CEDAR COLUMNS AND EXPOSED PLYWOOD AND TRIM:

All new woodwork shall be exterior grade.

First - Wood Primer Oil Based

Second Coat - Exterior Grade Acrylic Latex

Third Coat - Exterior Grade Acrylic Latex

b. EXTERIOR METAL (Not Pre-finished):

First Coat –Metal Primer

Second Coat – Metal Paint

Third Coat – Metal Paint

c. PREPARATION:

1. Surface Preparation:

Concrete: Allow new concrete to cure for 28 days, Brush-off blast.

Concrete block: Allow mortar to cure for 28 days. Level protrusions and mortar spatter. All surfaces must be dry and clean.

2. Repair all necessary nail holes, dents, cracks, open joints, and other defects shall be done after the priming or first coat is dry, and before second coat is applied. Sand to a smooth finish. Putty shall be pure linseed oil-white lead whiting, put in color to match the finish coat. At least 24 hours shall be allowed between coats under most favorable conditions. All coats shall be of the proper consistency and well-brushed out.

3. WOOD: Sandpaper to smooth and even surface and then dust off. After priming or stain coat has been applied thoroughly fill all nail holes and other surface imperfections with spackle, tinted with primer or stained to match wood color.

II. CHANGES TO THE DRAWINGS:

2.1 Sheet SP-1:

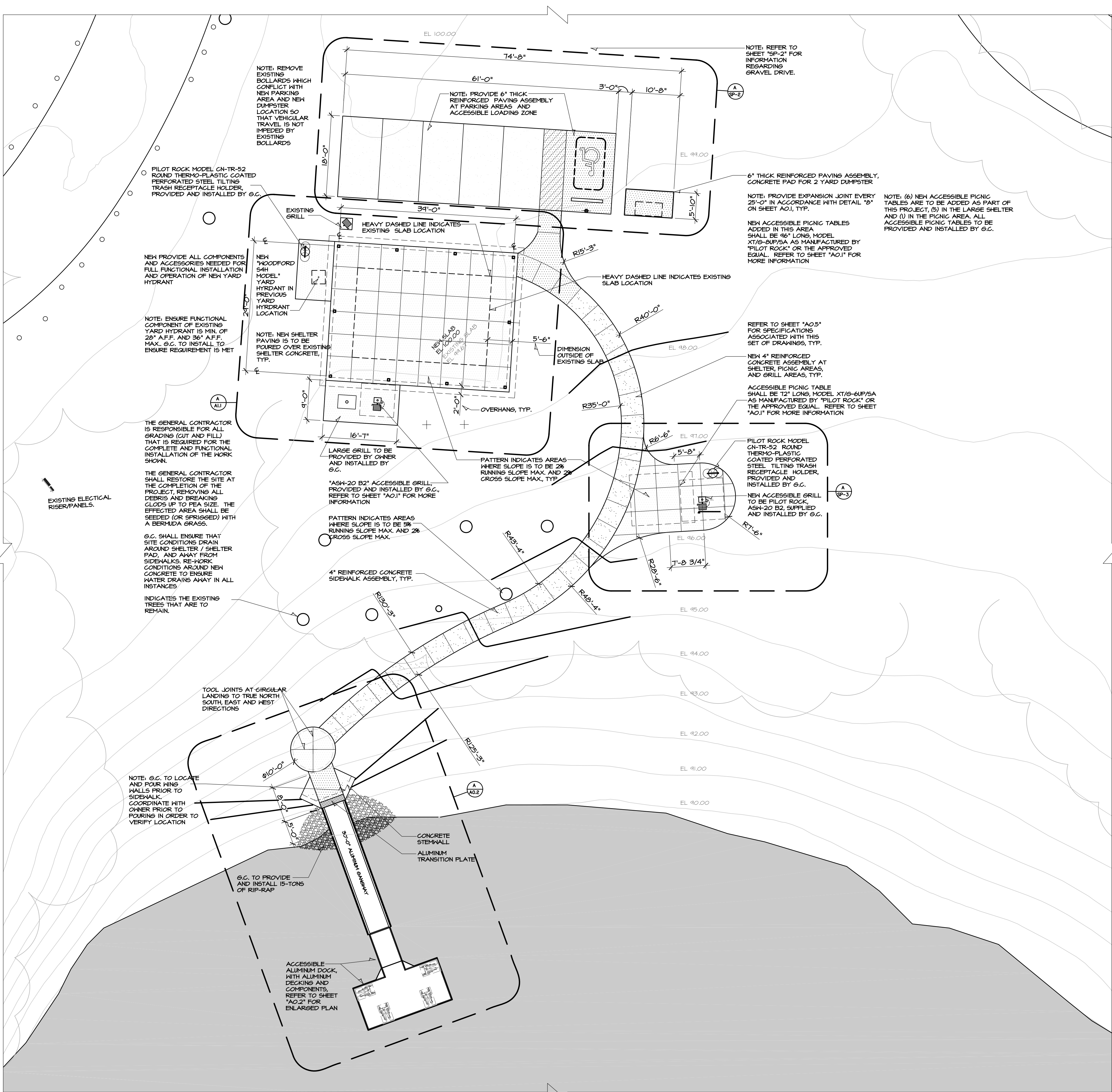
- a. The note at the top of the site plan refers to the gravel drive (as shown on sheet SP-2) is “future”. The word “future” shall be deleted. This work will be completed with this project.
- b. This sheet is being re-issued with this addendum in order to show the rip-rap and existing tree locations.
- c. The new 4” thick, reinforced concrete slab pours over the top of the existing concrete slab. The existing concrete slab is at elevation 99.60, which shall function as the bench mark for this project. We have two fixed points to work with – this existing slab elevation and the water level.
- d. The General Contractor shall use barrow as required to adjust the final grades to be compliant with the ADA.

2.2 Sheet SP-2:

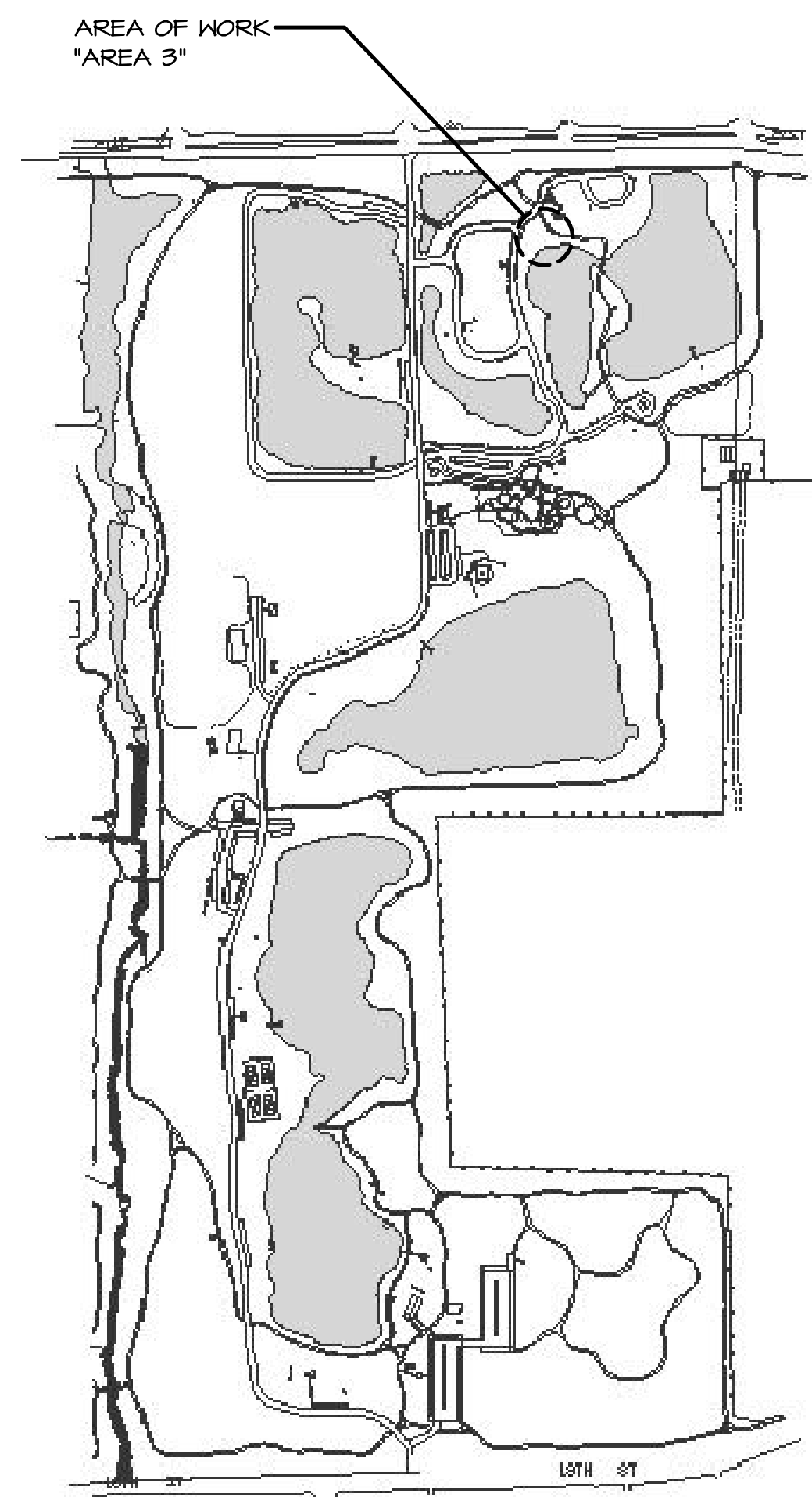
- a. The note in the middle of the hatch that indicates the new gravel approach to the new parking; the note contains a reference to “side forms”, this reference shall be deleted. The cut to the soil will function as the side forms.

- 2.3 Sheet A1.1:
a. Where the curved sidewalk meets the picnic slab (plan Northeast corner), the sidewalk shall provide a clear 5'-0" width measured from the plan South face of the corner column pier.
- 2.4 Sheet A1.2:
The reference to the Owner providing the picnic tables shall be corrected to say the tables are provided and installed by the General Contractor.
- 2.5 Sheet A2.2:
a. Detail 1 – the reference to 40# roofing felt shall be changed to 30#.
b. Detail 3 – the reference to 15# roofing felt shall be changed to 30#.
c. GAF self-adhesive StormGuard snow and ice dam material shall be installed around the perimeter edges (eaves and rakes). The installation shall be one pass of a standard 36" wide roll of the StormGuard.
- 2.6 Sheet A4.1:
a. Sections 3 and 4, the references to 40# roofing felt shall be changed to 30# roofing felt.
b. All plywood shall be clarified to be exterior grade.
- 2.7 Sheet S2:
The footing depth below grade on sheet S2 shall be revised from 3'-0" min. to 4'-0" min.

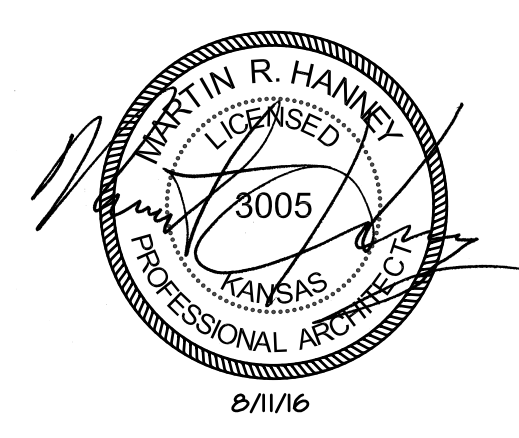
END OF ADDENDUM



AREA 3 AERIAL
SCALE: 1"=40'-0"



KEY PLAN



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2016
SEDGWICK COUNTY
SEDGWICK COUNTY PARK ADA UPGRADES
6501 W. 21ST STREET NORTH, 67205

DRAWINGS ISSUED		
NO.	DATE	ITEM ISSUED
4	8/1/16	ADDENDUM ONE
2	7/22/16	CONSTRUCTION DOCS.
2	7/19/16	PLAN REVIEW
1	4/25/16	REVIEW

DRAWING FILE	
SP-1.DWG	

DATE: JULY, 2016	
DRAWN BY: BS	CHECKED BY: MH

SHEET

SP-1