



SEDGWICK COUNTY, KANSAS
FINANCE DEPARTMENT
Division of Purchasing
Joseph Thomas, Purchasing Director
525 N. Main, Suite 823 ~ Wichita, KS 67203
Phone: 316 660-7255 Fax: 316 383-7055
<http://sedgwickcounty.org/finance/purchasing.asp>

ADDENDUM 1
RFB #17-0038
RONALD REAGAN BUILDING RENOVATION-FLOORS 4,5,6

April 11, 2017

The following is to ensure that vendors have complete information prior to submitting a bid. Please review the attached information below.

Firms interested in submitting a bid, must respond with complete information and **deliver on or before 1:45 p.m. CDT, April 25, 2017**. Late bids will not be accepted and will not receive consideration for final award.

“PLEASE ACKNOWLEDGE RECEIPT OF THIS ADDENDUM ON THE BID RESPONSE PAGE.”

Kim Bush, CPPB
Purchasing Agent

END SECTION

This Addendum is hereby made part of the Contract Documents to the same extent as though it were originally included therein.

All Contractors, Subcontractors and suppliers are reminded that they shall be familiar with all Addenda items (as well as all parts of the Construction Documents) so as to understand the extent of their work and its interrelation with other trades.

To all bidders for furnishing all labor and materials necessary for the following Contract:

**RONALD REAGAN BUILDING RENOVATION – FLOORS
4,5,6
Sedgwick County**

271 W. 3rd Street
Wichita, KS 67202

Prepared by:
Schaefer Johnson Cox Frey Architecture, Inc.

ARCHITECTURAL:

ITEM AD1-A01 DRAWING SHEET, COVER:
REVISION Under Project Certification, revise "2010 Uniform Plumbing Code" to read "2015 Uniform Plumbing Code" per attached.

ITEM AD1-A02 DRAWING SHEET A21.1, KEYED NOTES:
REVISION Add keyed note D82 to keyed notes list and Level 3 Demo Plan per attached.

ITEM AD1-A03 DRAWING SHEET A21.2, KEYED NOTES:
REVISION Add keyed note D81 to keyed notes list and Level 5 Demo Plan per attached.

ITEM AD1-A04 DRAWING SHEET A22.1, KEYED NOTES:
REVISION Replace Keyed Note list per attached.

ITEM AD1-A05 DRAWING SHEET A22.4, SITE PLAN:
CLARIFICATION Add Drawing Sheet A22.4 per attached showing contractor parking area and optional trash chute location.

ITEM AD1-A06 DRAWING SHEETS A21.1-A21.3, DEMOLITION PLANS:
CLARIFICATION On drawing sheets A21.1-A21.3 where "Wallcovering" is noted on the plans in various rooms, this denotes areas of the building where wallcovering exists and shall be removed per the General Demolition Notes.

ITEM AD1-A07 DRAWING SHEETS A22.1-A22.3, FLOOR PLANS:
CLARIFICATION Where wallcovering is removed in this project scope, walls shall be skimmed to a level 4 drywall finish. Where wallcovering was previously removed and walls were previously painted over, no additional skim coating is required.

- 5 **ITEM AD1-A08** SPECIFICATIONS, 01 10 00 SUMMARY:
CLARIFICATION 1.05 The contractor shall have access to floors 4, 5 and 6 for the duration
of the project. Schedule necessary work on 3rd floor with the owner as this
floor is occupied.
- 10 **ITEM AD1-A09** SPECIFICATIONS, 01 41 00 REGULATORY REQUIREMENTS:
REVISION 1.01H Revise "2012" to read "2015."
- 15 **ITEM AD1-A10** SPECIFICATIONS, 01 50 00 TEMPORARY FACILITIES AND CONTROLS:
CLARIFICATION 1.10B Per specification, Contractor shall have access to use the south
elevator during construction. Contractor shall be responsible for elevator
protection.
- 20 **ITEM AD1-A11** DRAWING SHEETS A61.1, DETAIL C1:
CLARIFICATION Applied fireproofing shown in the "Wall Parallel to Structure" section does
not apply to this building.
- 25 **ITEM AD1-A12** GENERAL:
CLARIFICATION Typical floor to floor height for the building is 12 feet.
- 30 **ITEM AD1-A13** DRAWING SHEET A23.1, KEYED NOTES:
CLARIFICATION Keyed Note 11.03: Projector and lift by Owner, contractor to provide
electrical per electrical drawings. Projection screens by Owner.
- 35 **ITEM AD1-A14** DRAWING SHEET COVER, GENERAL NOTES:
REVISION In the first general note, the Contractor shall verify all fire extinguisher
locations prior to demolition. Reinstall fire extinguishers / cabinets as
needed so that travel distance does not exceed 75' from any point in the
building to nearest fire extinguisher. Contractor shall include one
additional type 2A 10BC fire extinguisher on wall bracket for room 514.
- 40 **ITEM AD1-A15** SPECIFICATIONS, 21 13 00 FIRE-SUPPRESSION SPRINKLERS:
CLARIFICATION Page 21 13 00 – 5, Sprinkler Types and Categories: Contractor shall match
existing pendent sprinklers for typical locations.
- 45 **ITEM AD1-A16** DRAWING SHEET A21.1, KEYED NOTES:
CLARIFICATION Keyed Note 21.01: The fire suppressions system located beneath the
raised flooring is a wet system.
- 50 **ITEM AD1-A17** DRAWING SHEET A21.1, KEYED NOTES:
DELETION Keyed Note 8.17: Delete this keyed note.
- 55 **ITEM AD1-A18** DRAWING SHEET A22.2, KEYED NOTES:
REVISION Keyed Note 11.21: Revise to read "Mobile filing system and plywood infill
by Owner. Contractor to provide carpet tile over plywood between tracks."
- 60 **MECHANICAL:**

None

ELECTRICAL:

5 **ITEM AD1-E01** PLAN SHEETS E23.1, E24.1, E25.1:
ADDITION: Add cabling for Wireless Access Points per symbol type "AP" and plan notes
5 and 6 per attached sheets E23.1R, E24.1R and E25.1R.

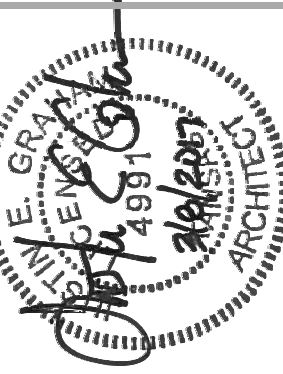
10

END OF ADDENDUM NUMBER ONE

Ronald Reagan Building Renovation - Floors 4,5,6

SEDGWICK COUNTY

271 W. 3RD STREET, WICHITA, KANSAS 67202
 SEDGWICK CO. BID# 17-0038



MIDWEST ENGINEERING, INC.
 MECHANICAL ENGINEERS
 INTEGRATED CONSULTING ENGINEERS, INC.
 ELECTRICAL ENGINEERS

CIVIL	ARCHITECTURAL	STRUCTURAL	MECHANICAL	ELECTRICAL
	A21.1 4TH FLOOR DEMOLITION PLAN A21.2 5TH FLOOR DEMOLITION PLAN A21.3 6TH FLOOR DEMOLITION PLAN A22.1 4TH FLOOR PLAN A22.2 5TH FLOOR PLAN A22.3 6TH FLOOR PLAN A22.4 SITE PLAN - CONTRACTOR A22.5 SITE PLAN - CONTRACTOR A23.1 4TH FLOOR REFLECTED CEILING PLAN A23.2 5TH FLOOR REFLECTED CEILING PLAN A23.3 6TH FLOOR REFLECTED CEILING PLAN A61.1 GENERAL DETAILS A66.1 MILLWORK ELEVATIONS A72.1 DOOR & FRAME SCHEDULE/ DTLs		M10.1 PROJECT INFO. MECH M21.1 DEMO HVAC PLAN LEVEL 4 M21.2 DEMO HVAC PLAN LEVEL 5 M21.3 DEMO HVAC PLAN LEVEL 3 M21.4 DEMO HVAC PLAN ROOF M21.5 DEMO PLUMBING PLAN LEVEL 4 M21.7 DEMO PLUMBING PLAN LEVEL 6 M22.1 NEW HVAC PLAN LEVEL 4 M22.2 NEW HVAC PLAN LEVEL 5 M22.3 NEW HVAC PLAN LEVEL 6 M33.1 NEW PLUMBING PLAN LEVEL 3 M33.2 NEW PLUMBING PLAN LEVEL 4 M33.3 NEW PLUMBING PLAN LEVEL 5 M33.4 NEW PLUMBING PLAN LEVEL 6 M70.1 MECHANICAL DETAILS & TEMPERATURE CONTROLS M70.2 MECHANICAL SCHEDULES	E10.0 ELECTRICAL SCHEDULES E23.1 4TH FLOOR NEW CONSTRUCTION/DEMO PLAN - POWER E23.2 4TH FLOOR NEW CONSTRUCTION/DEMO PLAN - LIGHTING E24.1 5TH FLOOR NEW CONSTRUCTION/DEMO PLAN - POWER E24.2 5TH FLOOR NEW CONSTRUCTION/DEMO PLAN - LIGHTING E25.2 6TH FLOOR NEW CONSTRUCTION/DEMO PLAN - LIGHTING



VICINITY PLAN

PROJECT INFORMATION

TYPE OF CONSTRUCTION: INTERIOR REMODEL
 LOCATION: 271 W. 3RD STREET
 OWNER: SEDGWICK COUNTY
 COUNTY: SEDGWICK COUNTY
 CITY: WICHITA
 ARCHITECT: SCHAEFER JOHNSON COX FREY ARCHITECTURE, INC.
 HANDICAP PROVISIONS: PATH OF TRAVEL, RESTROOMS, EXITS
 WATER SUPPLY: CITY
 SEWAGE TREATMENT: CITY
 GAS: WESTAR
 ELECTRICITY: OFFICE
 USE: CITY OF WICHITA
 AUTHORITY HAVING JURISDICTION: CITY OF WICHITA
 LOCAL CODE ENFORCEMENT: MABCD

PER 2012 IBC, ONLY ONE OF TWO REQUIRED EXITS MUST MEET ADA - MAIN ENTRANCE / EXIT AT NORTHEAST CORNER OF BUILDING MEETS ADA

PROJECT CERTIFICATION

ARCHITECT, SCHAEFER JOHNSON COX FREY ARCHITECTURE, INC. CERTIFY THAT THE SUBMITTED PLANS FOR THE PROJECT REFERENCED ABOVE COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING:

- 2012 INTERNATIONAL EXISTING BUILDING CODE
- 2012 INTERNATIONAL MECHANICAL CODE
- 2015 UNIFORM PLUMBING CODE
- 2014 NATIONAL ELECTRICAL CODE (NECA 70-90)
- 2011 ADAAG ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES
- 2012 INTERNATIONAL FIRE CODE

GENERAL NOTES

- G.C. TO FIELD VERIFY ALL FIRE EXTINGUISHER LOCATIONS PRIOR TO DEMOLITION. SUPPLY ADDITIONAL FIRE EXTINGUISHER CABINETS AS NEEDED SO THAT TRAVEL DISTANCE DOES NOT EXCEED 75' FROM ANY POINT IN THE BUILDING TO THE NEAREST FIRE EXTINGUISHER. VERIFY LOCATIONS IN FIELD WITH ARCHITECT PRIOR TO INSTALLATION.
- KANSAS FIRE PREVENTION CODE - KSA 31-133 AND 31-134a. MOST BUILDINGS NEW OR EXISTING HAVE ONE OR MORE DEVIATIONS FROM ONE OF THE RECOGNIZED BUILDING CODES. STATE LAW MANDATES COMPLIANCE TO THE KANSAS STATE FIRE PREVENTION CODE (KSFC) IN ALL OCCUPIED STRUCTURES. STATE LAW CAN BE SUMMARIZED AS: A) EXISTING STRUCTURES CANNOT HAVE DISTINCTLY HAZARDOUS CONDITIONS - THOSE THAT IMPEDE SPEEDY EXIT. B) NEW CONSTRUCTION AND CHANGES IN OCCUPANCY SHALL COMPLY TO CURRENT STANDARDS. C) ADDITION OR CHANGES IN EXISTING BUILDINGS CANNOT MAKE THE EXISTING CONDITION WORSE OR BLOCK EXITING. MOST CORRECTIONS TO DISTINCTLY HAZARDOUS CONDITIONS COMPENSATE FOR IMPAIRED EXITING. MANY COMPENSATORY MEASURES ACCEPTABLE TO THE KANSAS STATE FIRE MARSHAL'S OFFICE DO NOT UPGRADE THE BUILDING OR MEET THE LETTER OF A BUILDING, FIRE OR LIFE SAFETY CODE. EXISTING PORTIONS OF MANY BUILDINGS DO NOT COMPLY WITH A CERTAIN BUILDING CODE AND SHOULD BE SPECIFIED AS MEETING THE KANSAS FIRE PREVENTION CODE.

BUILDING 1

OCCUPANCY: GROUP B
 CONSTRUCTION TYPE: I/B
 MIXED OCCUPANCY: NONE

REMODEL AREAS:
 4TH FLOOR: 13400 SF
 5TH FLOOR: 10000 SF
 6TH FLOOR: 4500 SF

RENOVATION AREAS (CARPET, PAINT, ETC.)
 4TH FLOOR: 14050 SF
 5TH FLOOR: 14050 SF
 6TH FLOOR: 14050 SF

HVAC SYSTEM: 4-PIPE VAV SYSTEM WITH GAS-FIRED BOILERS & WATER COOLED CHILLER
 FUEL: GAS

FIRE SAFETY (EXISTING SYSTEMS):
 • FIRE ALARM SYSTEM
 • FIRE EXTINGUISHER
 • EXIT LIGHTS
 • EMERGENCY LIGHTS
 • FIRE SUPPRESSION SYSTEM

ACTIVE FIRE SAFETY SYSTEM (EXISTING SYSTEMS):
 • FIRE ALARM SYSTEM PROVIDED
 • EXIT LIGHTS AND EMERGENCY LIGHTS
 • PROVIDED WITH BATTERY BACKUP
 • FIRE SUPPRESSION SYSTEM

PASSIVE FIRE SAFETY SYSTEM:
 NONE PROVIDED, NONE REQUIRED

STAIR ENCLOSURES ARE 2-HR RATED

CONTACT INFORMATION

JUSTIN GRAHAM | jgraham@sjcf.com
 (316) 684-0171

**RONALD REAGAN BLDG
 RENOVATION - FLRS 4,5,6**

271 W 3RD STREET, WICHITA, KANSAS 67202

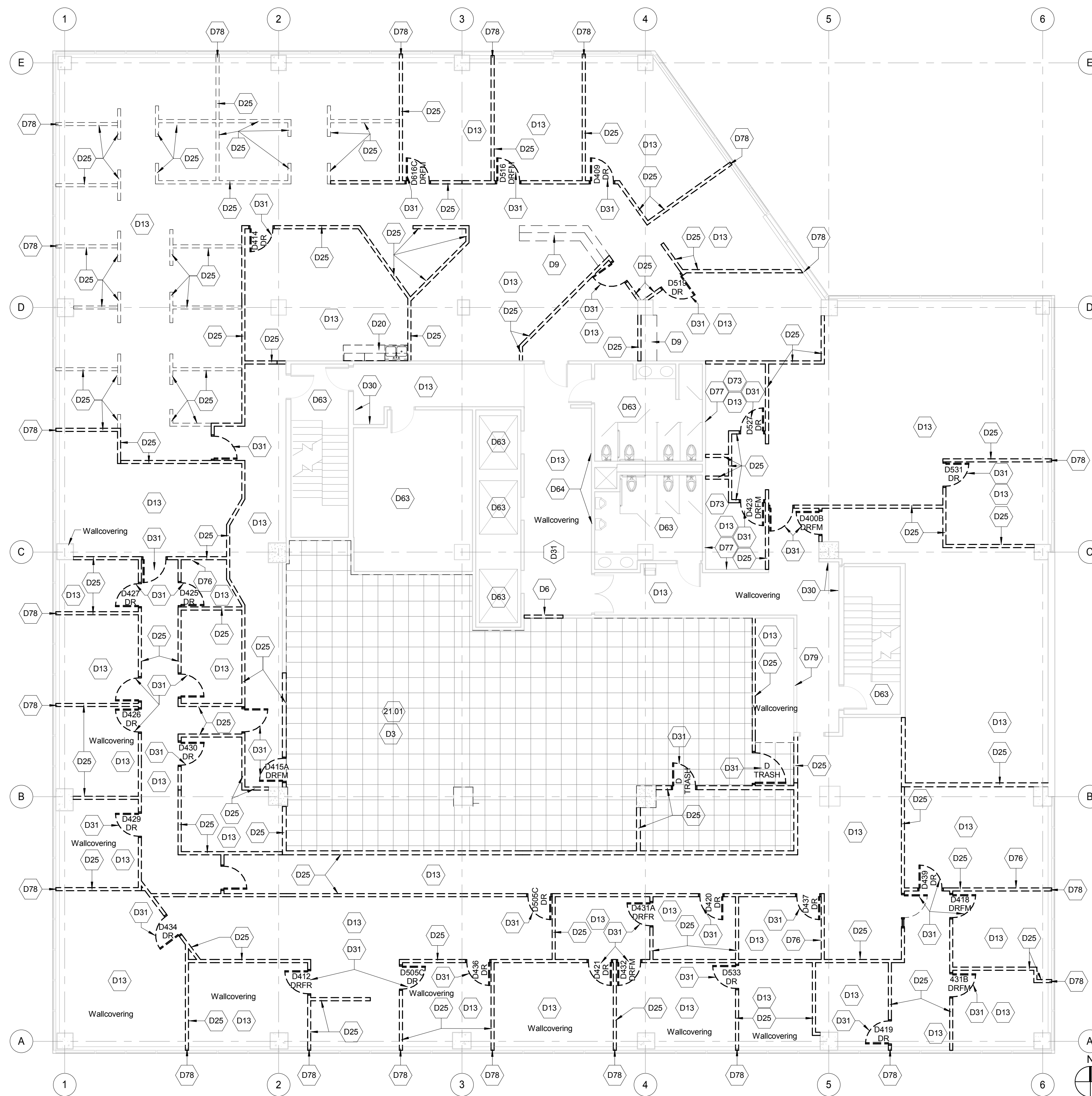
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Revisions
 1 ADD #1

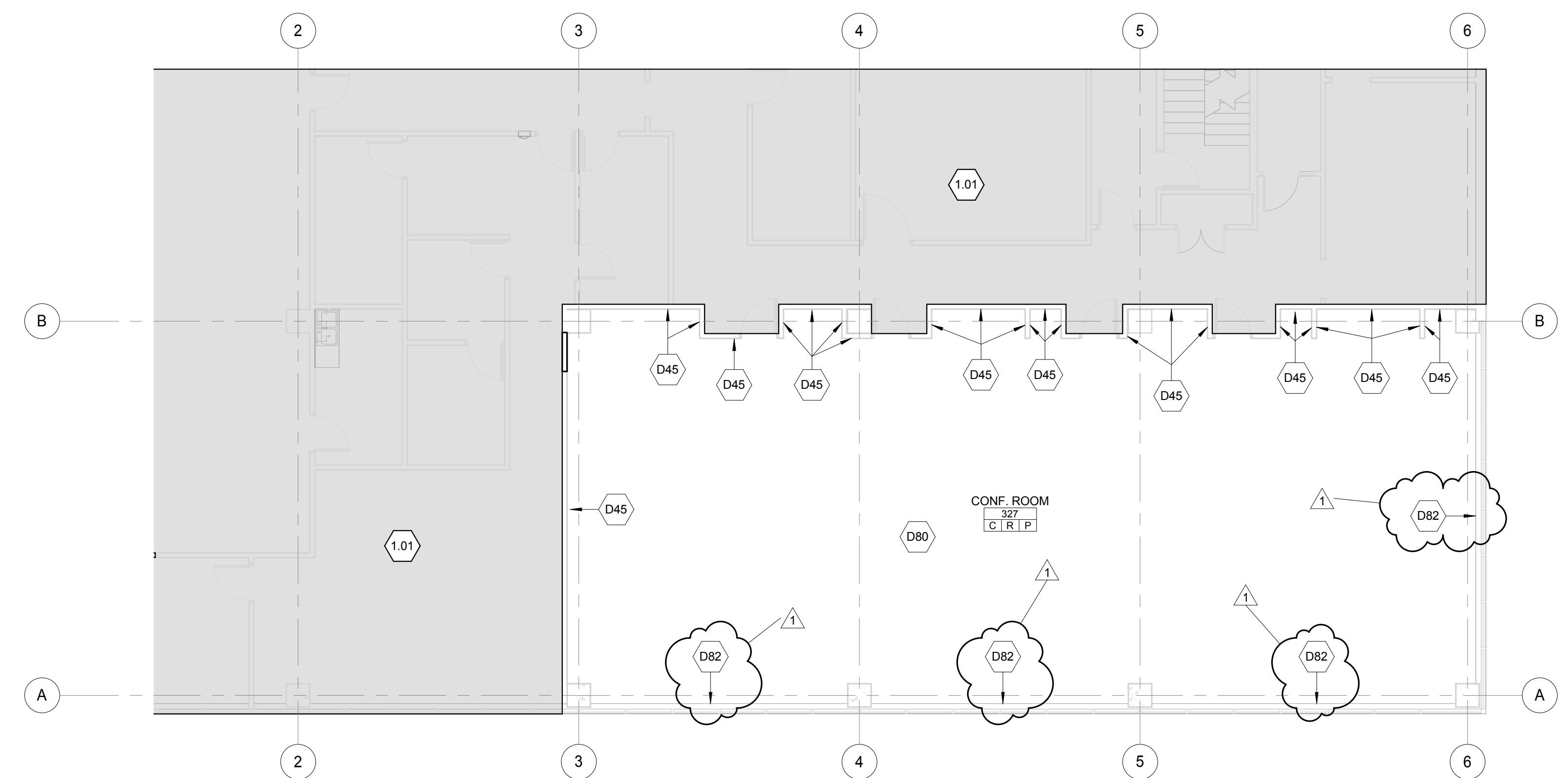
Project Number
5278.05

Date
08 MARCH 2017

COVER



1 LEVEL 4 DEMOLITION PLAN
1/8" = 1'-0"



2 LEVEL 3 DEMO PLAN
1/8" = 1'-0"

GENERAL DEMOLITION NOTES

- G.C. SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS.
- COORDINATE WORK ON DEMO SHEETS WITH WORK ON FLOOR PLAN SHEETS. REF. MECH. AND ELEC. FOR CUT AND PATCH WORK.
- DASHED LINES REPRESENT ITEMS FOR REMOVAL OR RELOCATION - REF. KEYED NOTES.
- CONTRACTOR SHALL HAVE FIRST SALVAGE RIGHTS ON ALL CONSTRUCTION RELATED ITEMS DESIGNATED TO BE REMOVED FROM FLOORS 4, 5, AND 6, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL CUT AND PATCH FLOORS, WALLS, CEILINGS, AND ROOFS AS REQUIRED FOR PLACEMENT OF NEW PIPING, CONDUITS, DEVICES, STRUCTURE, ETC. REF. ALL PLANS FOR LOCATIONS.
- G.C. SHALL PROTECT ALL STRUCTURAL ELEMENTS IN BUILDINGS.
- G.C. SHALL VERIFY ALL NEW OPENINGS FOR PIPING, DUCTS, AND CONDUIT WITH THE EXISTING STRUCTURAL SYSTEM OF THE BUILDING. DO NOT CUT THROUGH CONCRETE FLOOR/ROOF BEAMS, CONCRETE FLOOR/ROOF JOISTS, CONCRETE COLUMNS, STEEL COLUMNS, OR STEEL ROOF JOISTS UNLESS NOTED ON THE PLANS.
- G.C. SHALL PROTECT ALL EXIST. BUILDING COMPONENTS AND FINISHES TO REMAIN. G.C. SHALL REPAIR DAMAGE CAUSED BY CONTRACTOR TO EXIST. BUILDING COMPONENTS & FINISHES TO REMAIN.
- CONTRACTOR SHALL PATCH, REPAIR AND PAINT ALL SURFACES RESULTING FROM DEMOLITION WORK. ALL PATCHES ARE TO MATCH ADJACENT FINISHES AS CLOSELY AS POSSIBLE. WALL OR FLOOR SURFACES WHERE MILLWORK, ELECTRICAL DEVICES OR MECHANICAL EQUIPMENT IS REMOVED SHALL BE PATCHED AND PAINTED.
- PROVIDE COVER PLATES OVER J-BOXES WHICH ARE NO LONGER BEING USED. COLOR TO MATCH EXISTING. REMOVE ALL EXPOSED WIRE WHICH IS NO LONGER BEING USED - PATCH WALL.
- CONTRACTOR SHALL REMOVE ALL MECH./PLUMBING EQUIPMENT OR MATERIALS THAT ARE NOT RECONNECTED. SUCH ITEMS SHALL INCLUDE BUT ARE NOT LIMITED TO: VENT PIPING, WATER PIPES, HEATING WATER PIPES, CHILLED WATER PIPES, CONDENSATE DRAINS, SEWER LINES, GAS PIPES, INSULATION, DUCTWORK, ESCUTCHEONS, ELECTRICAL CONNECTIONS AND ASSOCIATED CONSTRUCTION EXPOSED TO VIEW.
- REFER TO MECHANICAL AND ELECTRICAL DEMOLITION SHEETS FOR ADDITIONAL INFORMATION ON MECHANICAL AND ELECTRICAL DEMOLITION WORK.
- REMOVE ALL FLOOR COVERING UNLESS OTHERWISE NOTED. FLOORINGS TO BE REMOVED SHALL BE REMOVED TO CONCRETE OR EXIST. SUBFLOOR STRUCTURE) ALL GLUE, GROUT, AND RESIDUE SHALL BE REMOVED TO PROVIDE A CLEAN BARE SURFACE.
- G.C. SHALL SALVAGE AND STOCKPILE BUILDING PRODUCTS FROM DEMOLITION TO BE USED FOR PATCHWORK. SUCH ITEMS SHALL INCLUDE BUT ARE NOT LIMITED TO: HARDWARE, DOORS AND FRAMES, CEILING TILE, LIGHT FIXTURES, MECHANICAL DIFFUSERS, TRIM, SPECIAL EQUIPMENT, ETC.
- ALL TOILET ACCESSORIES SHALL BE REMOVED FROM RESTROOMS TO BE DEMOLISHED. G.C. SHALL VERIFY ITEMS TO BE SALVAGED.
- IN ROOMS WHERE NEW ACOUSTICAL CEILINGS ARE INSTALLED ABOVE ACOUSTICAL CEILINGS WHICH ARE REMOVED, PATCH WALL WHERE OLD ACOUSTICAL CEILING IS REMOVED.
- P.L.M. SILLS AT EXTERIOR WINDOWS TO REMAIN.
- CONDUCT WALKTHROUGH WITH OWNER TO VERIFY SIGNS TO REMAIN, REMOVE ALL OTHER SIGNS.
- PATCH HOLES IN WALL PRIOR TO PAINTING.
- REMOVE SIGNS PRIOR TO PAINTING REINSTALL AFTER PAINTING.
- REMOVE EXPOSURE SCREWS, ETC. AT WALLS AND PATCH BEFORE PAINTING.
- REMOVE WALL COVERING FROM ALL WALLS AND HEADERS OF FLOORS 4,5,6, WHERE OCCURS, PRIOR TO PAINTING.
- REMOVE EVERY OTHER CEILING TILE WITHIN 2' MIN. OF EXTERIOR WALLS ON FLOORS 4,5,6 FOR OWNER INSPECTION PRIOR TO REINSTALLING CEILING TILES. DUCTWORK AND DIFFUSERS WITHIN THIS ZONE TO REMAIN.
- ALL EXISTING BLINDS AT EXTERIOR WINDOWS TO REMAIN. PROTECT DURING WALLCOVERING REMOVAL. MOUNTING BRACKETS MAY REMAIN AND WALLCOVERING REMOVED FROM AROUND BRACKET.

KEYED DEMOLITION PLAN NOTES

- 1.01 INTERIOR OF BUILDING
- 6.01 MILLWORK - REF. A66 SERIES SHEETS & SPECIFICATIONS.
- 6.24 CLEAN AND RECALK COUNTERTOP AND APRON.
- 8.17 REPLACE CRACKED GLASS WINDOW UNIT TO MATCH EXISTING.
- 21.01 REMOVE FIRE SUPPRESSION SYSTEM LOCATED UNDER RAISED FLOORING.
- D3 REMOVE RAISED TILE SYSTEM & ALL SUPPORT STRUCTURE, INCLUDING STEEL SPANNING UNDER FLOOR DUCT SYSTEM. SALVAGE ALL FULL 2X2 ACCESS FLOOR PANELS FOR OWNER. DELIVER THE FLOOR PANELS ON PALLETS TO THE 1ST FLOOR OF 510 N. MAIN. ACCESSIBLE ROUTING FOR PALLET JACKS WILL BE AVAILABLE.
- D6 REMOVE PORTION OF WALL FOR NEW DOOR OPENING
- D9 REMOVE EXISTING CASEWORK
- D13 REMOVE EXISTING FLOOR COVERING AND BASE IN THIS AREA. PREP FOR NEW.
- D20 REMOVE EXISTING SINK & CASEWORK. REF. MECHANICAL FOR PLUMBING DEMOLITION.
- D25 REMOVE EXISTING WALL.
- D30 REMOVE EMERGENCY PHONE, EVAC CABINETS, AND SIGNS.
- D31 REMOVE DOOR AND FRAME. REF. DEMO DOOR GUIDE FOR SALVAGE SPECIFICATIONS.
- D45 REMOVE WALL COVERING AND RUBBER BASE. PREP WALLS FOR PAINT.
- D63 ALL EXISTING FINISHES TO REMAIN AT THIS ROOM.
- D64 REMOVE WALL SCENCOS IN ELEVATOR LOBBY WHERE OCCUR.
- D73 REMOVE SHOWER STALLS, ACCESSORIES & LOCKERS. REF. MECH.
- D76 REMOVE FOAM BOARD, PUNCH DOWNS, AND HARDWARE.
- D77 REMOVE TILE FROM WALLS AND PREP FOR FINAL FINISH.
- D78 PATCH WINDOW SILL WHERE WALL HAS BEEN REMOVED.
- D79 REMOVE PLASTIC LAMINATE CAP ON LOW WALL.
- D80 REMOVE EXISTING FLOOR COVERINGS IN THIS AREA. PREP FOR NEW.
- D82 REMOVE AND REPLACE RUBBER BASE ON THIS WALL.

DEMOLITION DOOR GUIDE

- DOOR SALVAGE TYPES**
- DR - SALVAGE DOOR & HARDWARE ONLY
 - DRFM - SALVAGE DOOR, HARDWARE & FRAME
 - IF NO DOOR NUMBER IS ASSIGNED, THEN SALVAGE DOOR FRAME AND HARDWARE UNTIL COMPLETION OF PROJECT.
- DOOR # TO BE RELOCATED**
- DRFM - SALVAGE TYPE

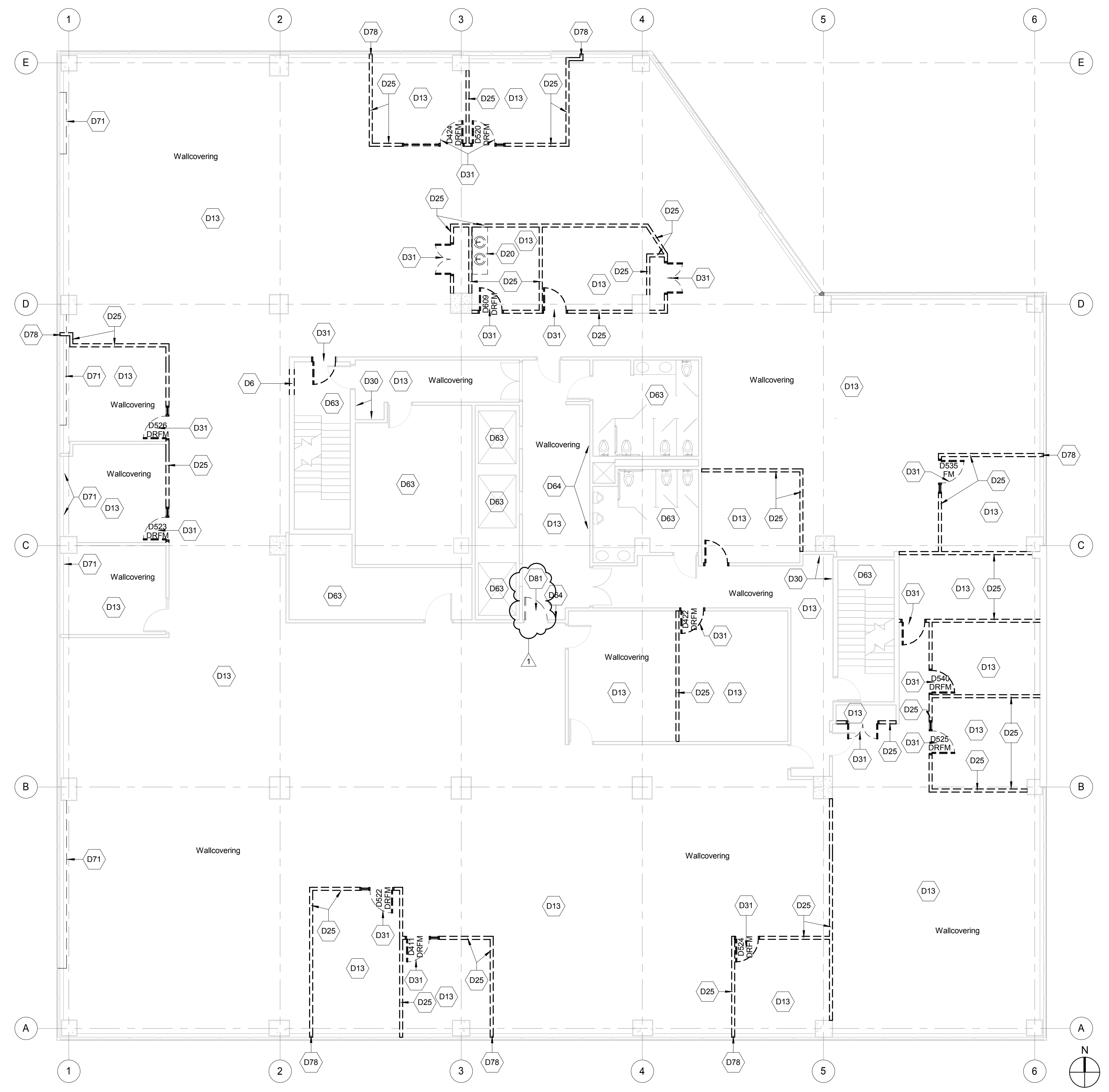


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Revisions

1	ADD #1
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Project Number	5278.05
Date	08 MARCH 2017
4TH FLOOR DEMOLITION PLAN	



1 LEVEL 5 DEMOLITION PLAN
1/8" = 1'-0"

GENERAL DEMOLITION NOTES

- G.C. SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS.
- COORDINATE WORK ON DEMO SHEETS WITH WORK ON FLOOR PLAN SHEETS. REF. MECH. AND ELEC. FOR CUT AND PATCH WORK.
- DASHED LINES REPRESENT ITEMS FOR REMOVAL OR RELOCATION - REF. KEYED NOTES
- CONTRACTOR SHALL HAVE FIRST SALVAGE RIGHTS ON ALL CONSTRUCTION RELATED ITEMS DESIGNATED TO BE REMOVED FROM FLOORS 4, 5, AND 6, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL CUT AND PATCH FLOORS, WALLS, CEILINGS, AND ROOFS AS REQUIRED FOR PLACEMENT OF NEW PIPING, CONDUITS, DEVICES, STRUCTURE, ETC. REF. ALL PLANS FOR LOCATIONS.
- G.C. SHALL PROTECT ALL STRUCTURAL ELEMENTS IN BUILDINGS.
- G.C. SHALL VERIFY ALL NEW OPENINGS FOR PIPING, DUCTS, AND CONDUIT WITH THE EXISTING STRUCTURAL SYSTEM OF THE BUILDING. DO NOT CUT THROUGH CONCRETE FLOOR/ROOF BEAMS, CONCRETE FLOOR/ROOF JOISTS, CONCRETE COLUMNS, STEEL COLUMNS, OR STEEL ROOF JOISTS UNLESS NOTED ON THE PLANS.
- G.C. SHALL PROTECT ALL EXIST. BUILDING COMPONENTS AND FINISHES TO REMAIN. G.C. SHALL REPAIR DAMAGE CAUSED BY CONTRACTOR TO EXIST. BUILDING COMPONENTS & FINISHES TO REMAIN.
- CONTRACTOR SHALL PATCH, REPAIR AND PAINT ALL SURFACES RESULTING FROM DEMOLITION WORK. ALL PATCHES ARE TO MATCH ADJACENT FINISHES AS CLOSELY AS POSSIBLE. WALL OR FLOOR SURFACES WHERE MILLWORK, ELECTRICAL DEVICES OR MECHANICAL EQUIPMENT IS REMOVED SHALL BE PATCHED AND PAINTED.
- PROVIDE COVER PLATES OVER J-BOWS WHICH ARE NO LONGER BEING USED. COLOR TO MATCH EXISTING. REMOVE ALL EXPOSED WIRE MOLD WHICH IS NO LONGER BEING USED - PATCH WALL.
- CONTRACTOR SHALL REMOVE ALL MECH. PLUMBING EQUIPMENT OR MATERIALS THAT ARE NOT RECONNECTED. SUCH ITEMS SHALL INCLUDE BUT ARE NOT LIMITED TO: VENT PIPING, WATER PIPES, HEATING WATER PIPES, CHILLED WATER PIPES, CONDENSATE DRAINS, SEWER LINES, GAS PIPES, INSULATION, DUCTWORK, ESCUTCHEONS, ELECTRICAL CONNECTIONS AND ASSOCIATED CONSTRUCTION EXPOSED TO VIEW.
- REFER TO MECHANICAL AND ELECTRICAL DEMOLITION SHEETS FOR ADDITIONAL INFORMATION ON MECHANICAL AND ELECTRICAL DEMOLITION WORK.
- REMOVE ALL FLOOR COVERING UNLESS OTHERWISE NOTED. FLOORING TO BE REMOVED SHALL BE REMOVED TO CONCRETE (OR EXIST. SUB-FLOOR STRUCTURE). ALL GLUE, GROUT, AND RESIDUE SHALL BE REMOVED TO PROVIDE A CLEAN BASE SURFACE.
- G.C. SHALL SALVAGE AND STOCKPILE BUILDING PRODUCTS FROM DEMOLITION TO BE USED FOR PATCHWORK. SUCH ITEMS SHALL INCLUDE BUT ARE NOT LIMITED TO HARDWARE, DOORS AND FRAMES, CEILING TILE, LIGHT FIXTURES, MECHANICAL DIFFUSERS, TRIM, SPECIAL EQUIPMENT, ETC.
- ALL TOILET ACCESSORIES SHALL BE REMOVED FROM RESTROOMS TO BE DEMOLISHED. G.C. SHALL VERIFY ITEMS TO BE SALVAGED.
- IN ROOMS WHERE NEW ACOUSTICAL CEILINGS ARE INSTALLED ABOVE ACOUSTICAL CEILINGS WHICH ARE REMOVED, PATCH WALL WHERE OLD ACOUSTICAL CEILING IS REMOVED.
- PATCH SILL AT EXTERIOR WINDOWS TO REMAIN.
- CONDUCT WALKTHROUGH WITH OWNER TO VERIFY SIGNS TO REMAIN, REMOVE ALL OTHER SIGNS.
- PATCH HOLES IN WALL PRIOR TO PAINTING.
- REMOVE SIGNS PRIOR TO PAINTING REINSTALL AFTER PAINTING.
- REMOVE EXPOSED NAILS, SCREWS, ETC. AT WALLS AND PATCH BEFORE PAINTING.
- REMOVE WALL COVERING FROM ALL WALLS AND HEADERS OF FLOORS 4,5,6 WHERE OCCURS. PRIOR TO PAINTING.
- REMOVE EVERY OTHER CEILING TILE WITHIN 2' MIN. OF EXTERIOR WALLS ON FLOORS 4,5,6 FOR OWNER INSPECT PRIOR TO REINSTALLING CEILING TILES. DUCTWORK AND DIFFUSERS WITHIN THIS ZONE TO REMAIN.
- ALL EXISTING BLINDS AT EXTERIOR WINDOWS TO REMAIN. PROTECT DURING WALLCOVERING REMOVAL. MOUNTING BRACKETS MAY REMAIN AND WALLCOVERING REMOVED FROM AROUND BRACKET.

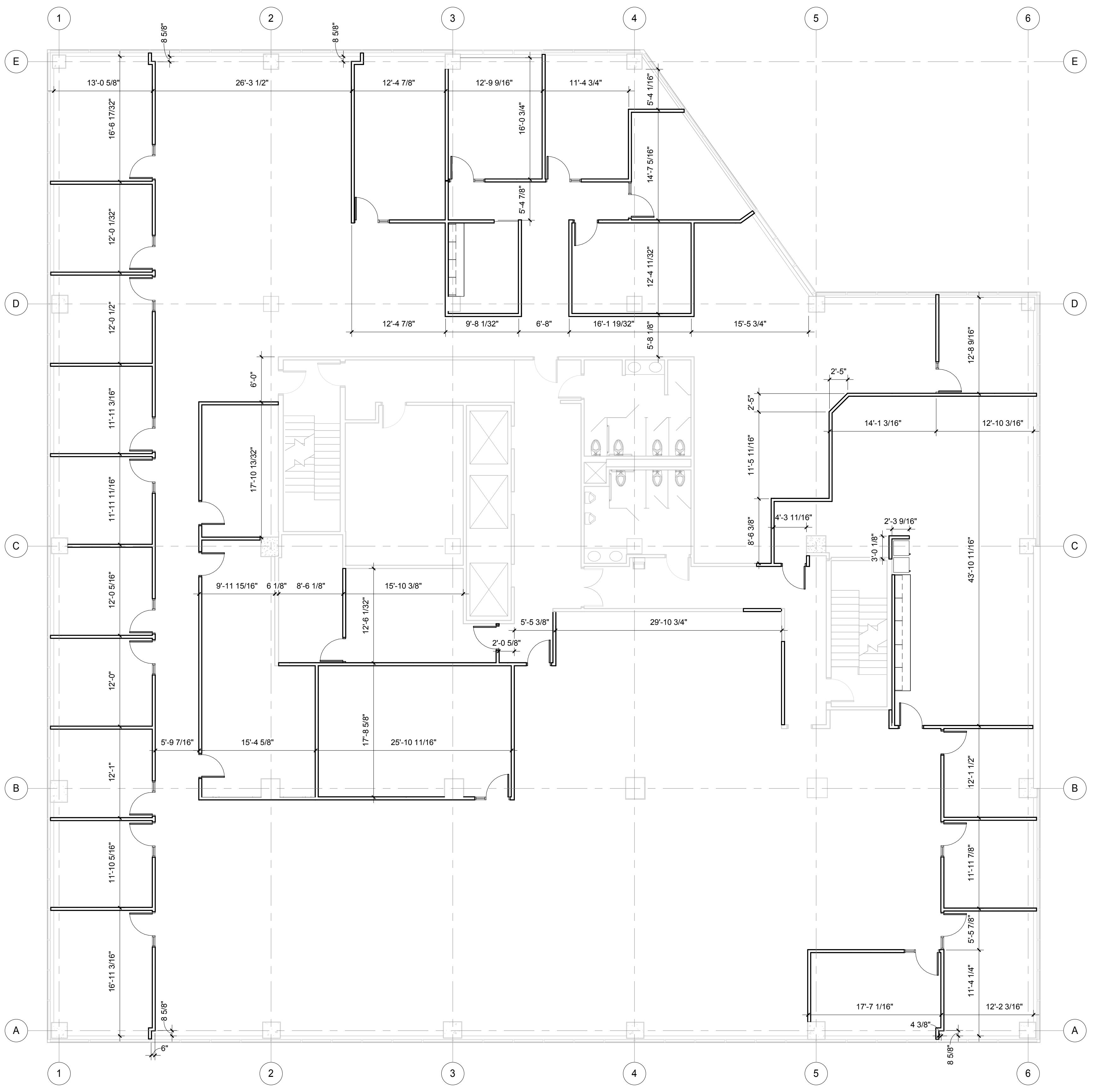
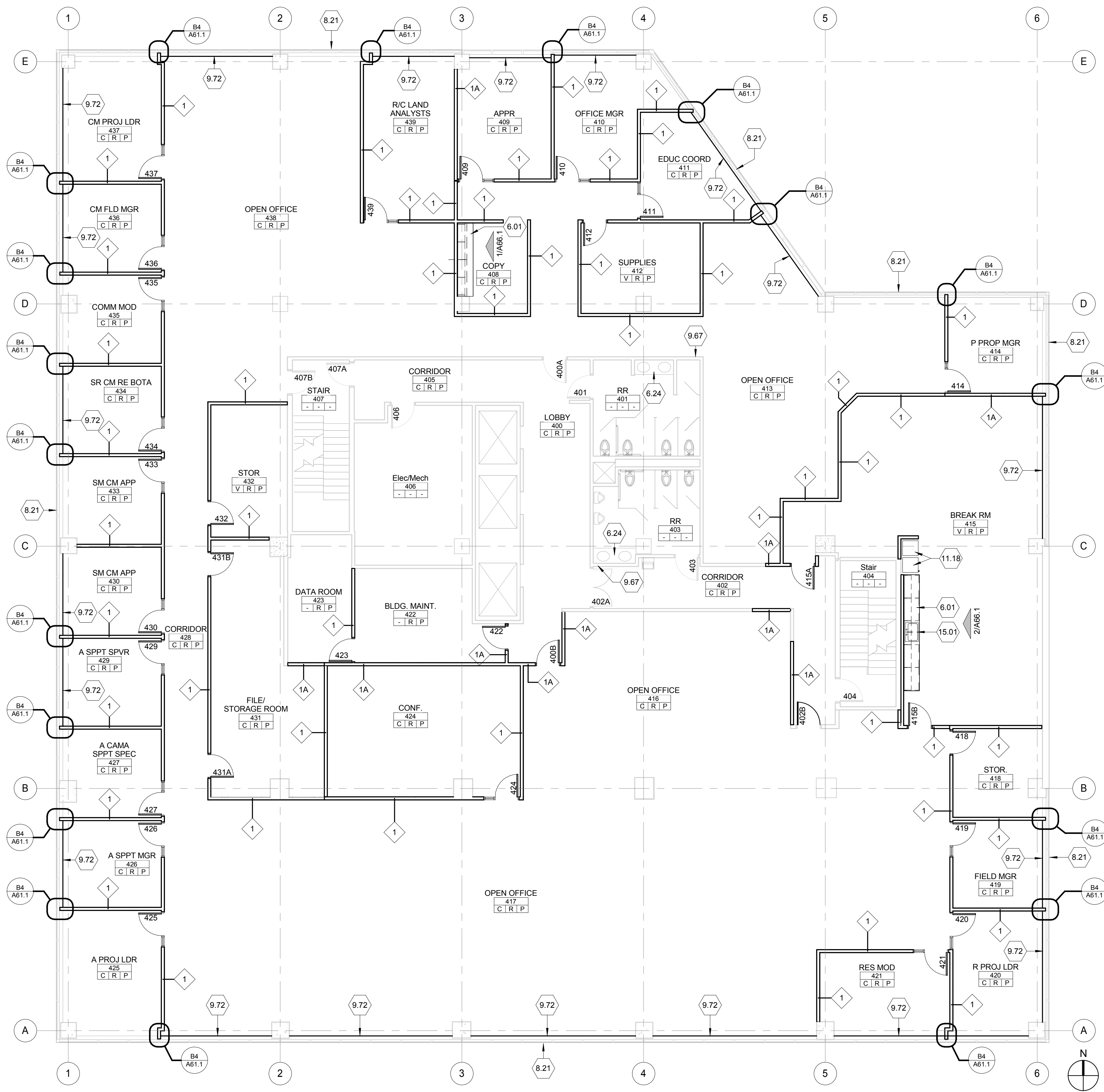
KEYED DEMOLITION PLAN NOTES

- D6 REMOVE PORTION OF WALL FOR NEW DOOR OPENING
- D13 REMOVE EXISTING FLOOR COVERING AND BASE IN THIS AREA, PREP FOR NEW.
- D20 REMOVE EXISTING SINK & CASEWORK. REF. MECHANICAL FOR PLUMBING DEMOLITION.
- D25 REMOVE EXISTING WALL.
- D30 REMOVE EMERGENCY PHONE, EVAC CABINETS, AND SIGNS.
- D31 REMOVE DOOR AND FRAME, REF. DEMO DOOR GUIDE FOR SALVAGE SPECIFICATIONS.
- D63 ALL EXISTING FINISHES TO REMAIN AT THIS ROOM.
- D64 REMOVE WALL SCORNES IN ELEVATOR LOBBY WHERE OCCUR.
- D71 PATCH GYP BD. WHERE MISSING AT HEADER.
- D78 PATCH WINDOW SILLS WHERE WOOD WAS BY REMOVED.
- D81 REMOVE DOOR FROM FRAME. REF. DEMO DOOR GUIDE FOR SALVAGE SPECIFICATIONS.

DEMOLITION DOOR GUIDE

- DOOR SALVAGE TYPES**
- DR - SALVAGE DOOR & HARDWARE ONLY
 - DRFM - SALVAGE DOOR, HARDWARE & FRAME
 - IF NO DOOR NUMBER IS ASSIGNED, THEN SALVAGE DOOR FRAME AND HARDWARE UNTIL COMPLETION OF PROJECT.
 - D000 - ROOM # TO BE RELOCATED TO
 - DRFM - SALVAGE TYPE





1 LEVEL 4 FLOOR PLAN
1/8" = 1'-0"

2 LEVEL 4 DIMENSION PLAN
1/8" = 1'-0"

GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING SITE AND BUILDING CONDITIONS.
- WALL WITH DARK (BLACK) PERIMETER LINES INDICATE NEW WALLS. EXISTING WALLS SHOWN WITH SCREENED (GRAY) LINES.
- PLAN DIMENSIONS ARE TO FACE OF STUD. TYP. AND FROM FACE OF FINISHED EXISTING WALL WHERE OCCURS.
- SEE ALL MILLWORK DETAILS FOR ALL CASEWORK GOODS THAT REQUIRE IN-WALL BLOCKING FOR ATTACHMENT.
- CLEAN INTERIOR SIDE OF EXTERIOR WINDOW FRAMES AND GLASS.
- FILL ALL HOLES IN WALLS PRIOR TO PAINTING.
- RELOCATE SPRINKLER HEADS FOR NEW WALL LAYOUTS AND FINISH CEILING CHANGES IN ACCORDANCE WITH IBC 903.3.1.1. SPRINKLER SYSTEM TO BE FULLY TESTED AND INSPECTED BY ALL GOVERNING JURISDICTIONS.
- PATCH GYP. BD. AT ALL REMAINING WALLS, COLUMNS & HEADERS AFFECTED BY DEMOLITION OF OTHER WALLS.
- ABBREVIATIONS:
CJ CONTROL JOINT - REF. DETAIL
FEC FIRE EXTINGUISHER AND CABINET - REF. SPEC.
MB MARKER BOARD.
TB TACKBOARD.
PS PROJECTION SCREEN - REF. SPEC.
FE FIRE EXTINGUISHER AND BRACKET - REF. SPEC.
NIC NOT IN CONTRACT. ITEM FURNISHED BY OWNER
VIF VERIFY IN FIELD ACTUAL CONDITIONS

KEYED FLOOR PLAN NOTES

- 6.01 MILLWORK - REF. A66 SERIES SHEETS & SPECIFICATIONS.
- 6.24 CLEAN AND RECAULK COUNTERTOP AND APRON.
- 9.21 AT ALL EXTERIOR STOREFRONT & CURTAINWALL SYSTEMS INTERIOR HEAD AND SILL. REMOVE FILLER PLATE, REPAIR AND REPLACE SPLICE PLATES AND REINSTALL FILLER PLATES. WORK MAY REQUIRE SOME REMOVAL OF GYP. BD. AT HEADER TO ACCESS SPLICE PLATES.
- 9.67 PATCH GYPSUM BOARD WALL WHERE PREVIOUSLY REMOVED FOR SANITARY RISER REPLACEMENT.
- 9.72 RELAMINATE SILL AND EDGE IN HIGHLIGHTED AREA. MATCH WITH EXISTING COLOR OF LAMINATE AND EDGE BANDING.
- 9.73 REMOVE RUBBER BASE, PATCH AND PAINT ABOVE WHERE NECESSARY.
- 9.74 PAINT AND INSTALL NEW RUBBER BASE ON THIS WALL.
- 11.18 REFRIGERATOR FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.
- 15.01 LAVATORY/SINK - REF. MECH.

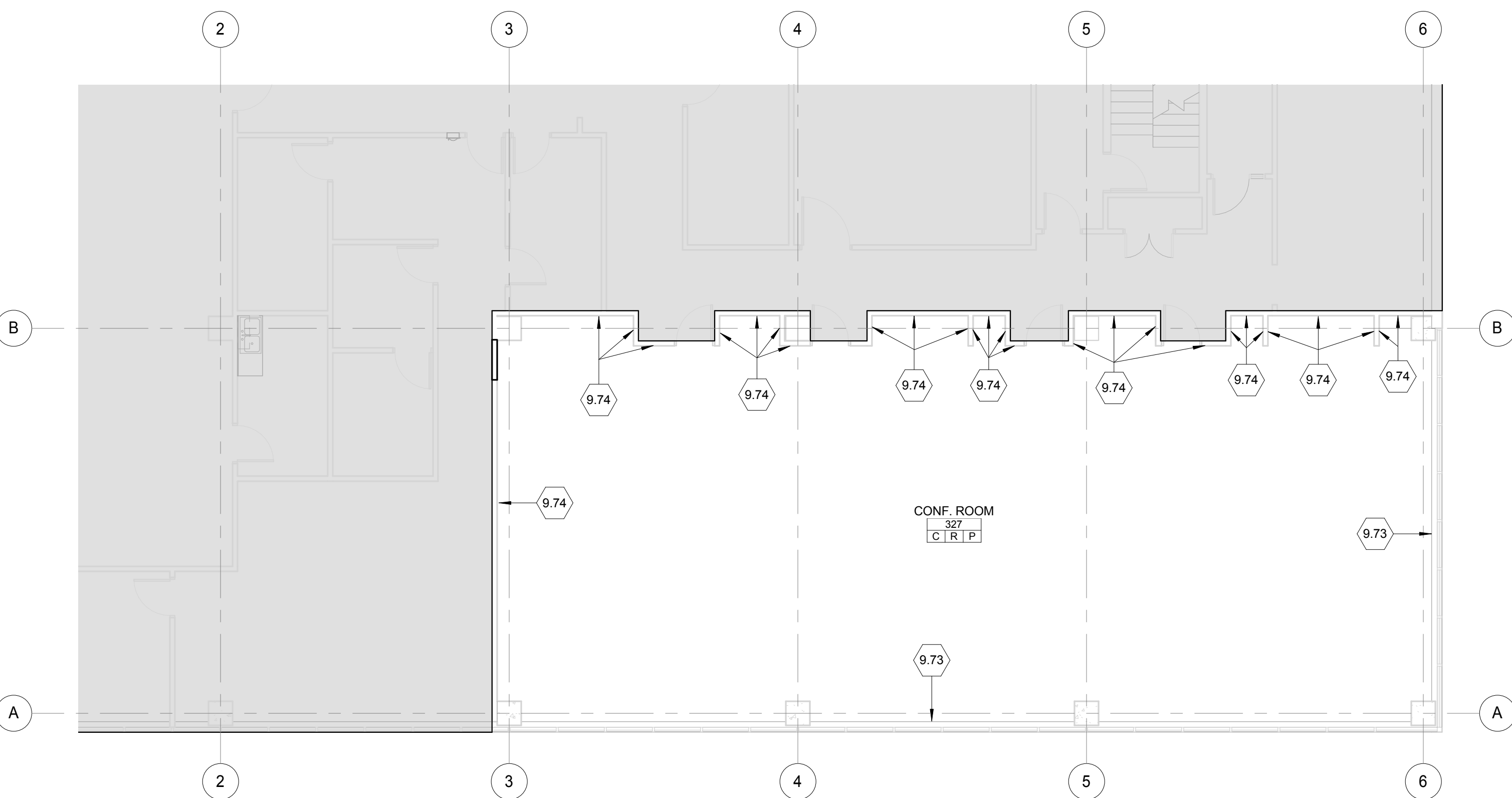
FINISH SCHEDULE GUIDE

FLOOR:	BASE:	WALL:
C CARPET	R RUBBER BASE	P PAINT
V VINYL TILE	- NO FIN. REQ./EXISTING	- NO FIN. REQ./EXISTING
- NO FIN. REQ./EXISTING	FINISH TO REMAIN IN 'AS-IS' CONDITION	FINISH TO REMAIN IN 'AS-IS' CONDITION

ROOM NAME	ROOM NUMBER	WALL FINISH	BASE MATERIAL	FLOOR FINISH
101				
101A				
101B				

- REFER TO A66 SERIES SHEETS FOR CHANGES IN FLOOR FINISH DETAILS.
- ALL HM FRAMES TO BE PAINTED.

4 LEVEL 1
1/8" = 1'-0"



3 LEVEL 3 FLOOR PLAN
1/8" = 1'-0"



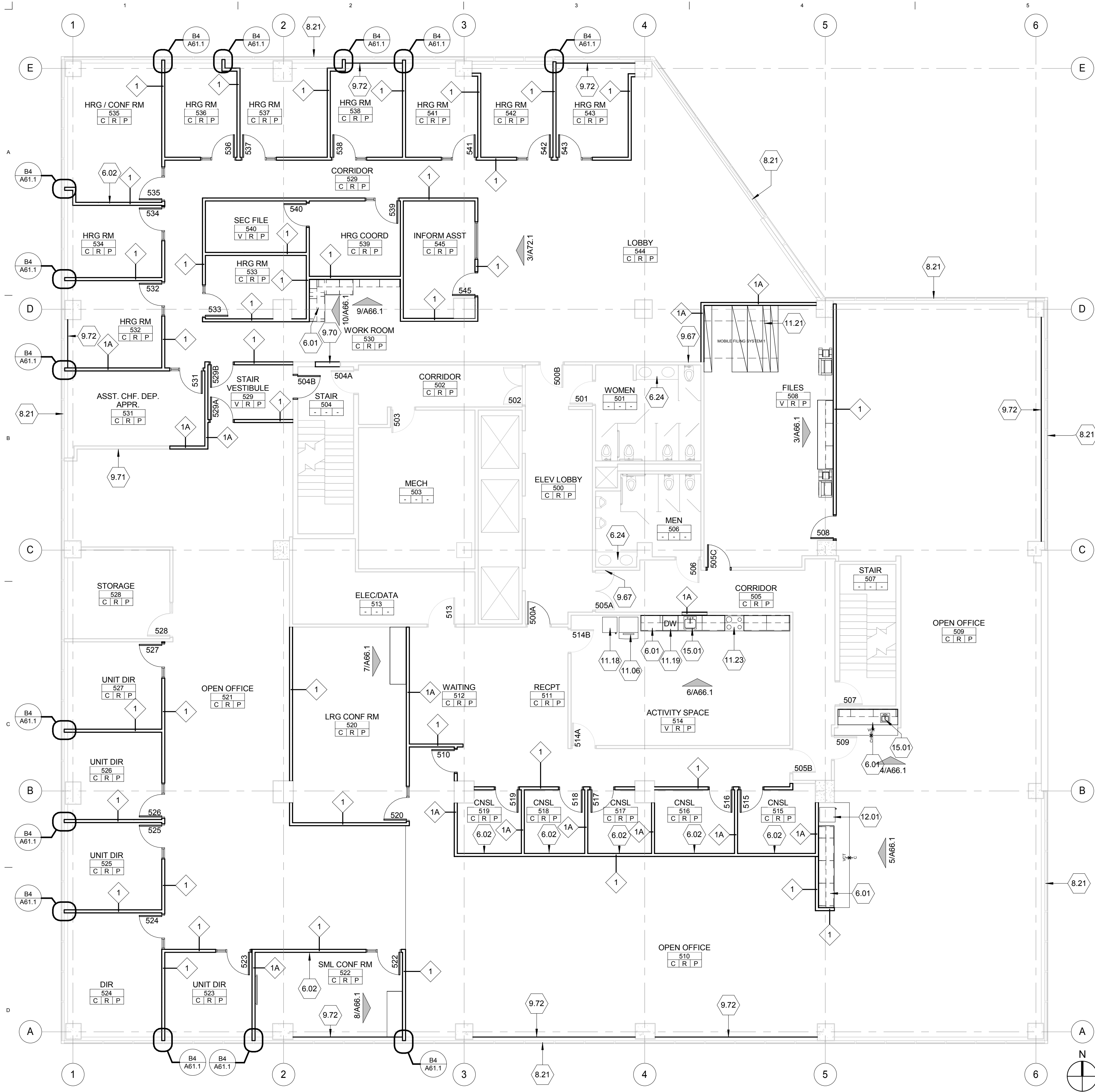
Revisions

- ADD #1

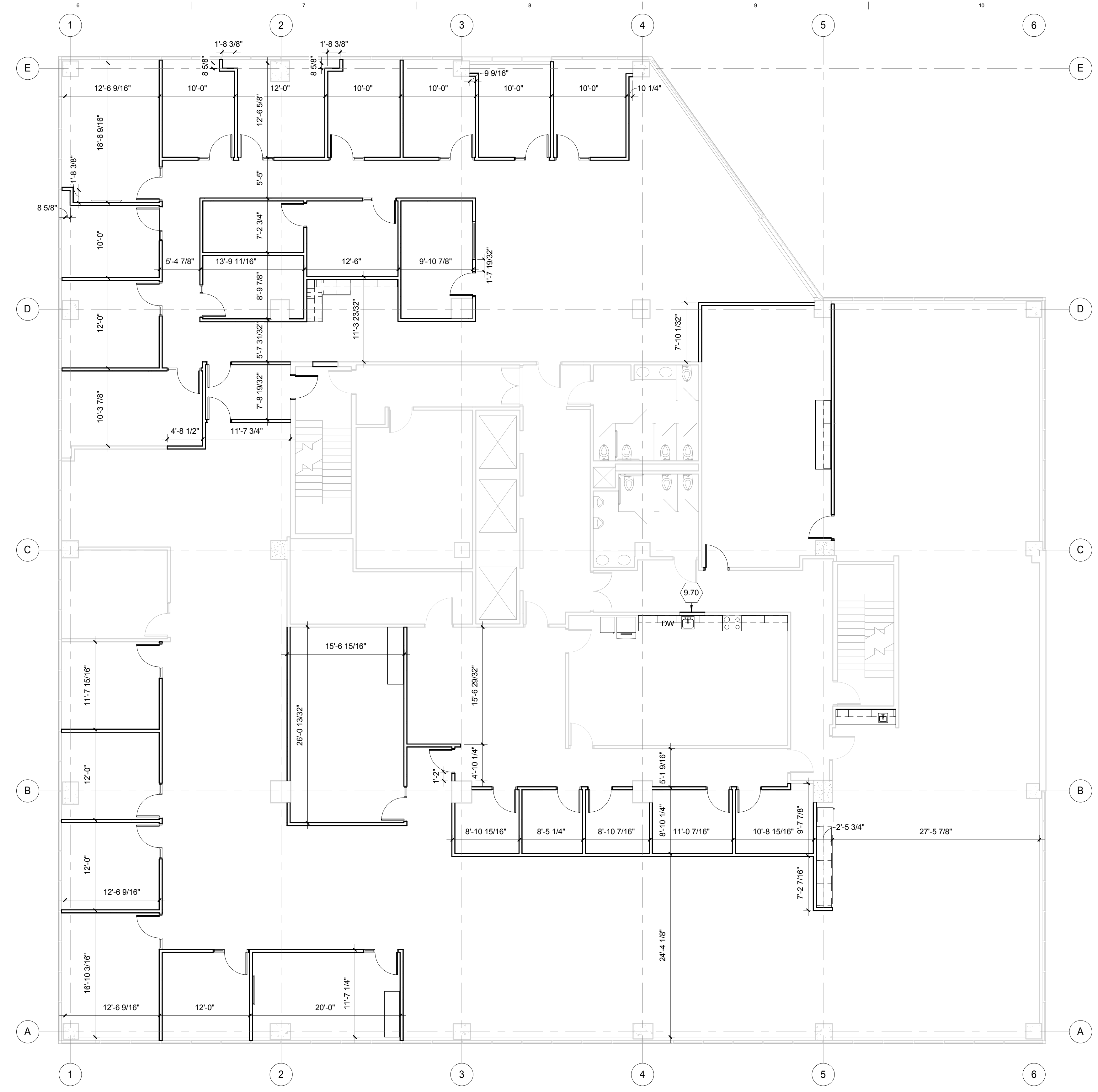
Project Number
5278.05

Date

ADD #1
4TH FLOOR PLAN



1. LEVEL 5 FLOOR PLAN
1/8" = 1'-0"



2. LEVEL 5 DIMENSION PLAN
1/8" = 1'-0"

GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING SITE AND BUILDING CONDITIONS.
- WALL WITH DARK (BLACK) PERIMETER LINES INDICATE NEW WALLS. EXISTING WALLS SHOWN WITH SCREENED (GRAY) LINES.
- PLAN DIMENSIONS ARE TO FACE OF STUD. TYP. AND FROM FACE OF FINISHED EXISTING WALL WHERE OCCURS.
- SEE ALL MILLWORK DETAILS FOR ALL CASEWORK GOODS THAT REQUIRE IN-WALL BLOCKING FOR ATTACHMENT.
- CLEAN INTERIOR SIDE OF EXTERIOR WINDOW FRAMES AND GLASS.
- FILL ALL HOLES IN WALLS PRIOR TO PAINTING.
- RELOCATE SPRINKLER HEADS FOR NEW WALL LAYOUTS AND FINISH CEILING CHANGES IN ACCORDANCE WITH IBC 903.3.1.1. SPRINKLER SYSTEM TO BE FULLY TESTED AND INSPECTED BY ALL GOVERNING JURISDICTIONS.
- PATCH GYP. BD. AT ALL REMAINING WALLS, COLUMNS & HEADERS AFFECTED BY DEMOLITION OF OTHER WALLS.
- ABBREVIATIONS:
CJ CONTROL JOINT - REF. DETAIL
FEC FIRE EXTINGUISHER AND CABINET - REF. SPEC.
MB MARKER BOARD
TB TACKBOARD
PS PROJECTION SCREEN - REF. SPEC.
FE FIRE EXTINGUISHER AND BRACKET - REF. SPEC.
NIC NOT IN CONTRACT. ITEM FURNISHED BY OWNER
VIF VERIFY IN FIELD ACTUAL CONDITIONS

KEYED FLOOR PLAN NOTES

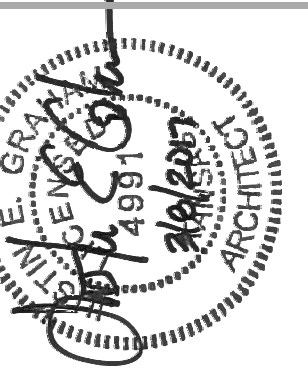
- 6.01 MILLWORK - REF. A66 SERIES SHEETS & SPECIFICATIONS.
- 6.02 WALL MOUNTED TV PROVIDED BY OWNER - CONTRACTOR TO PROVIDE 32"W X 24"H 3/4" PLYWOOD BLOCKING WITHIN WALL. VERIFY PLACEMENT WITH ARCHITECT. REMOVE AND REPLACE EXISTING GYP. BD. AS REQUIRED.
- 6.24 CLEAN AND RECAULK COUNTERTOP AND APRON.
- 8.21 AT ALL EXTERIOR STOREFRONT & CURTAINWALL SYSTEMS INTERIOR HEAD AND SILL. REMOVE FILLER PLATE. REPAIR AND REPLACE SPLICE PLATES AND REINSTALL FILLER PLATES. WORK MAY REQUIRE SOME REMOVAL OF GYP. BD. AT HEADER TO ACCESS SPLICE PLATES.
- 9.67 PATCH GYPSUM BOARD WALL WHERE PREVIOUSLY REMOVED FOR SANITARY RISER REPLACEMENT.
- 9.70 INFILL OPENINGS WITH 3 5/8" MTL. STUD @ 16" O.C. & 5/8" TYPE "X" GYP. BD. TO MATCH EXISTING WALL THICKNESS.
- 9.71 EXTEND WALL TO DECK WITH GYP. BD. BOTH SIDES.
- 9.72 RELAMINATE SILL AND EDGE IN HIGHLIGHTED AREA. MATCH WITH EXISTING COLOR OF LAMINATE AND EDGE BANDING.
- 11.06 ICE MACHINE FURNISHED BY OWNER. INSTALLED BY CONTRACTOR.
- 11.19 REFRIGERATOR FURNISHED BY OWNER. INSTALLED BY CONTRACTOR.
- 11.21 DISHWASHER FURNISHED BY OWNER. INSTALLED BY CONTRACTOR.
- 11.21 MOBILE FILING SYSTEM AND PLYWOOD INFILL BY OWNER. CONTRACTOR TO PROVIDE CARPET TILE OVER PLYWOOD BETWEEN TRACKS.
- 11.23 OVER RANGE FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR. MAX. TOTAL LOAD CAPACITY TO BE 12KW.
- 12.01 REFRIGERATOR BY OWNER - N.I.C. REF. MECH & ELEC.
- 15.01 LAVATORY/SINK - REF. MECH.

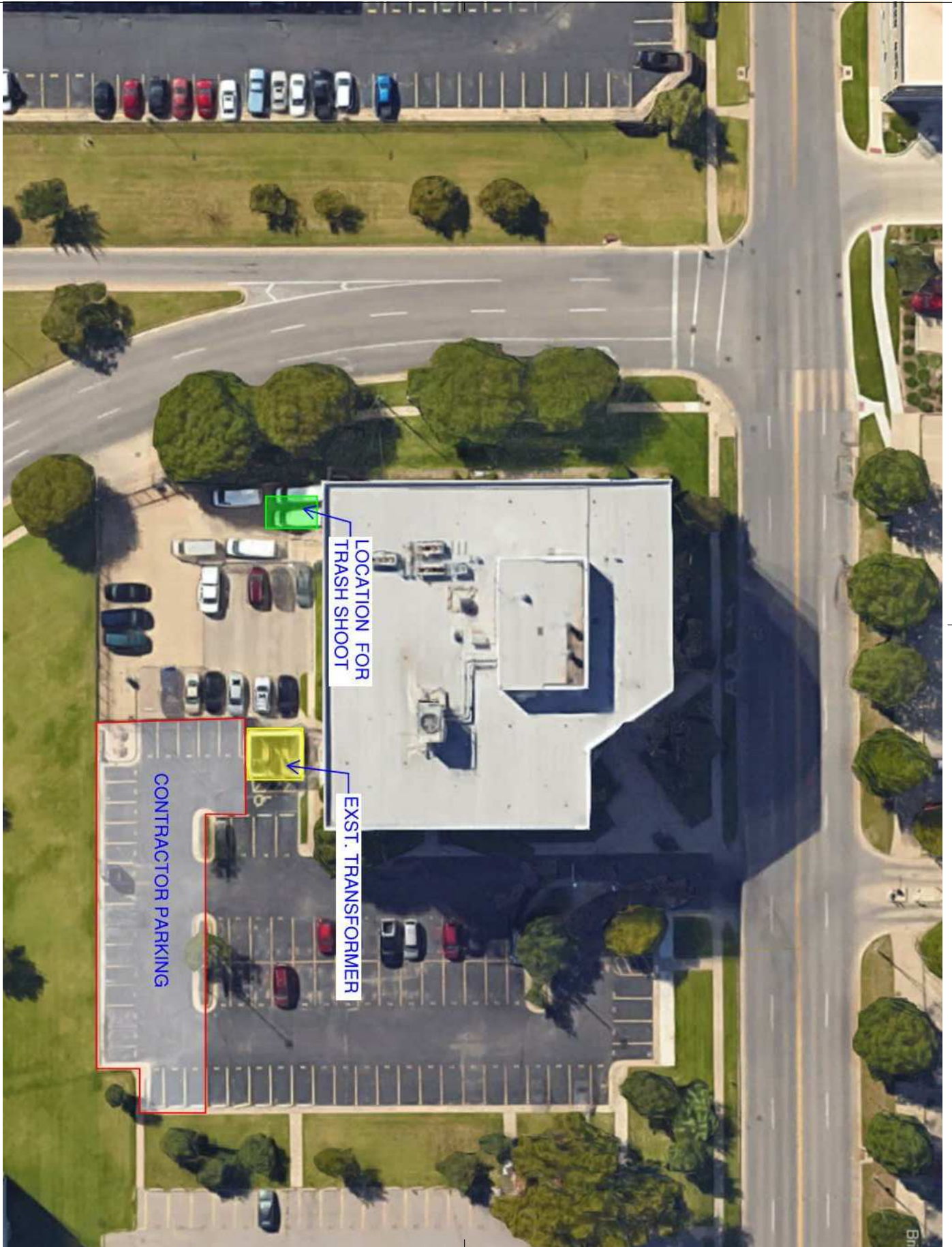
FINISH SCHEDULE GUIDE

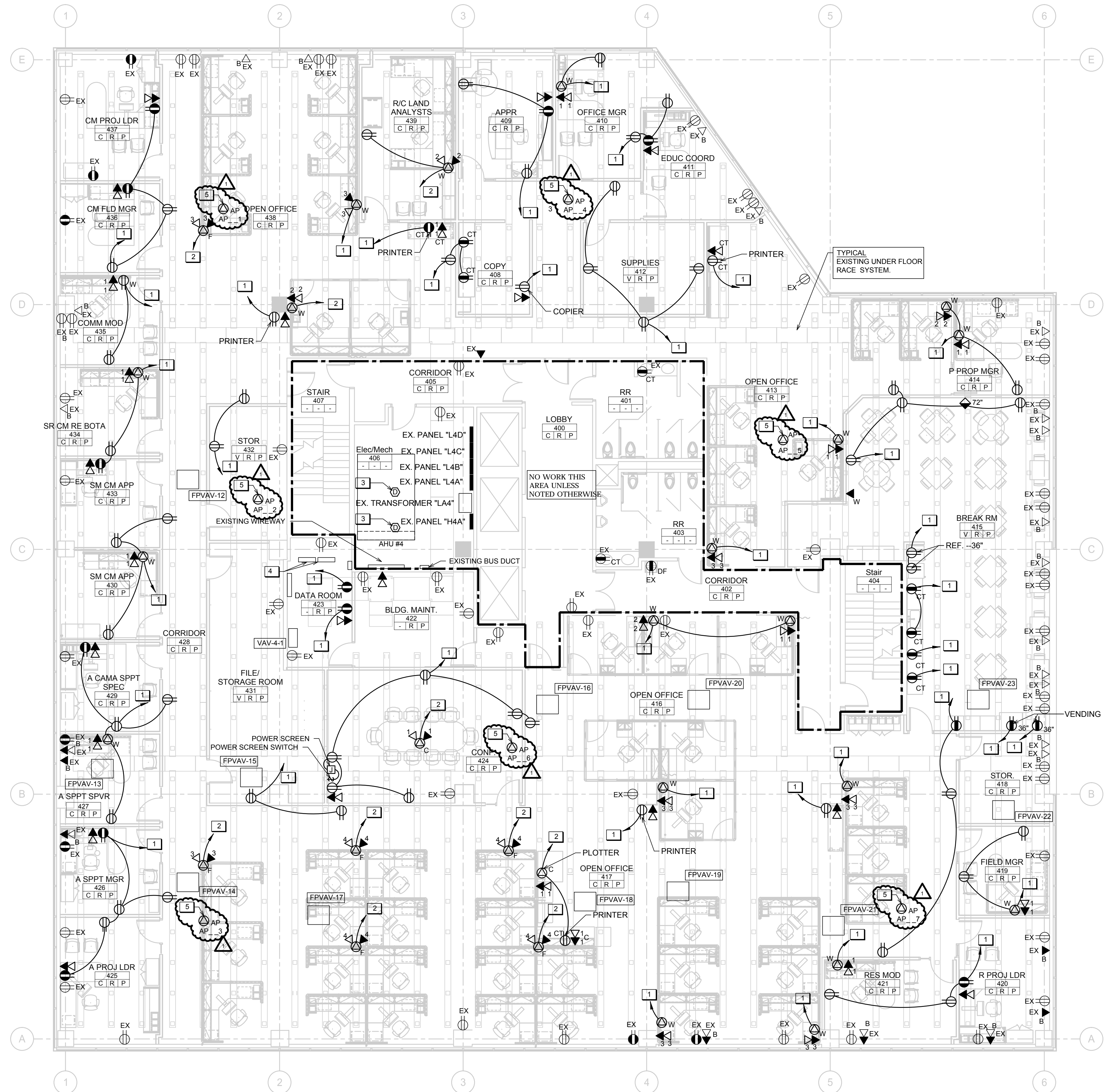
FLOOR:	BASE:	WALL:
C CARPET	R RUBBER BASE	P PAINT
V VINYL TILE	NO FIN. REQ. EXISTING	NO FIN. REQ. EXISTING
NO FIN. REQ. EXISTING	FINISH TO REMAIN IN	FINISH TO REMAIN IN
FINISH TO REMAIN IN	'AS-IS' CONDITION	'AS-IS' CONDITION

ROOM NAME	ROOM NAME
101	ROOM NUMBER
101	WALL FINISH
101	BASE MATERIAL
101	FLOOR FINISH

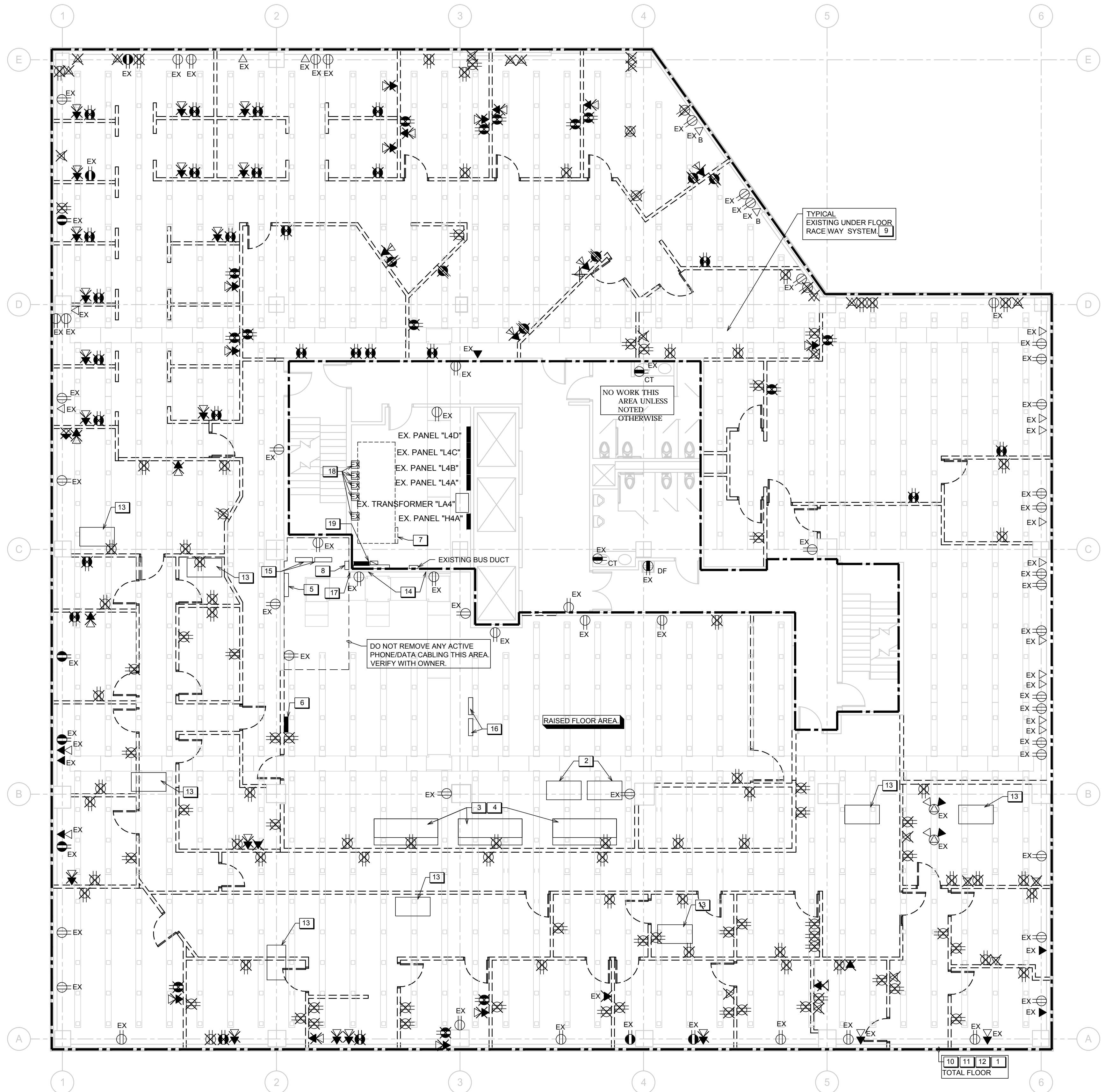
- REFER TO A6 SERIES SHEETS FOR CHANGES IN FLOOR FINISH DETAILS.
- ALL HM FRAMES TO BE PAINTED.







A LEVEL 4 - NEW CONSTRUCTION PLAN - POWER
SCALE: 1/8" = 1'-0"



B LEVEL 4 - DEMOLITION PLAN - POWER
SCALE: 1/8" = 1'-0"

EQUIPMENT CONNECTION SCHEDULE										SCH. CODE
UNIT	DESIG.	H.P.	FLA.	MCA	PANEL DEVICE RATING (AMPS/POLE)	DISCONNECTING DEVICE AT UNIT (AMPS/POLE)	STARTER (SIZE/POLE)	FUSE	CIRCUIT NUMBER	FEEDER IDENT.
FAN POWERED VAV (FPVAV)										
4-12		1/2	5.1		201				201	
4-13		1/2	5.1		201				201	
4-14		1/2	5.1		201				201	
4-15		1/2	5.1		201				201	
4-16		1/2	5.1		201				201	
4-17		1/2	5.1		201				201	
4-18		1/2	5.1		201				201	
4-19		1/2	5.1		201				201	
4-20		1/2	5.1		201				201	
4-21		1/2	5.1		201				201	
4-22		1/2	5.1		201				201	
4-23		1/2	5.1		201				201	
VAV-4		FR							201	
AHU-4						SW	BY MC			

EQUIPMENT CONNECTION SCHEDULE NOTES

GENERAL NOTES:
 a. ALL CONNECTIONS AND ELECTRICAL EQUIPMENT LISTED IN THIS SCHEDULE SHALL BE PROVIDED AND INSTALLED BY THE ELECTRICAL CONTRACTOR
 b. REFER TO THE MECHANICAL DRAWINGS AND SPECIFICATIONS FOR THE REQUIREMENTS ASSOCIATED WITH WIRING AND CONNECTIONS OF INTERLOCKING, THERMOSTAT LOCATIONS, EXHAUST FAN CONTROL SWITCHES AND OTHER CONTROLS OF MECHANICAL EQUIPMENT.

SCHEDULE NOTES:
 SEE RISER DIAGRAM FOR INFORMATION.
 CONNECT TO NEW 20 AMP 1P BREAKER IN EXISTING PANEL H6B -INSTALL 3 UNITS PER CIRCUIT

NEW CONSTRUCTION PLAN NOTES:

- TO 20A 1P BREAKER IN EXISTING 120/208V PANELS.
- CONNECT TO EXISTING CIRCUIT IN UNDER FLOOR DUCT SYSTEM. VERIFY CIRCUIT LOADING.
- ADD NEW FIRE SMOKE DETECTOR TO SUPPLY AND RETURN DUCTS OF NEW AHU UNIT. TIE TO EXISTING BUILDING FIRE ALARM SYSTEM. VERIFY TIE-IN WITH F.A. MANUFACTURER.
- EXISTING PHONE/DATA RACKS
- DISCO WIRELESS ACCESS POINTS LOCATED ON CEILING. (1) CAT 6A CABLE @ EACH AP WITH 20' OF EXTRA CABLE SPOOLED NEAR THE AP LOCATION FOR FUTURE. PROOFING. ROUTE CABLES BACK TO PHONE/DATA RACKS. PROVIDE TERMINATIONS ON ENDS.

DEMOLITION PLAN NOTES:

- REMOVE AND DISCONNECT RECEPTACLE BACK TO THE POINT OF SUPPLY. DEVICES ARE LOCATED PER SITE VISIT, BUT MAY NOT INDICATE ALL DEVICES. ALL DEVICES IN REMOVED WALLS ARE TO BE DISCONNECTED AND REMOVED. CONTINUITY OF CIRCUIT SHALL BE MAINTAINED ON ANY REMAINING DEVICE.
- EXISTING UPS, UPS BATTERIES AND ASSOCIATED CIRCUITS UNDER RAISED FLOOR TO BE REMOVED BY CONTRACTOR.
- REMOVE EXISTING AIR CONDITIONING UNIT DISCONNECT SWITCHES. BRANCH CIRCUITS AND FEEDERS BACK TO THE POINT OF SUPPLY. VERIFY ALL REQUIREMENTS AT SITE.
- REMOVE EXISTING AIR CONDITIONING CONDENSING UNITS ON ROOF THAT ARE ASSOCIATED WITH UNITS IN DATA ROOM. REMOVE DISCONNECT SWITCHES, BRANCH CIRCUITS AND FEEDERS BACK TO THE POINT OF SUPPLY. VERIFY ALL REQUIREMENTS AT SITE.
- EXISTING PHONE AND DATA CABLE TRAY AND CABLES TO REMAIN.
- EXISTING FIRE ALARM SYSTEM FOR RAISED FLOOR AREA TO BE REMOVED COMPLETE WITH REMOVAL OF ALL EXISTING ASSOCIATED SMOKE HEADS, VISUAL UNITS, PULL STATIONS AND TIES BACK TO BUILDING SYSTEM ALARM AND ANY TIES TO HALON TYPE SYSTEMS.
- REMOVE EXISTING AHU #4 BACK TO THE POINT OF SUPPLY. REMOVE EXISTING ASSOCIATED FIRE SMOKE DETECTORS.
- SATELLITE FEED TO REMAIN.
- EXISTING UNDER FLOOR DUCT ACTIVATIONS ARE NOT INDICATED. CONTRACTOR SHALL REMOVE ALL PHONE/DATA CABLES WITHIN FLOOR DUCT SYSTEM BACK TO TERMINAL BOARD OR RACKS IN "IT" ROOM. RETURN ALL UNUSED UNDER FLOOR DUCT POWER/PHONE/DATA CONNECTIONS, PARTS, AND ACCESSORIES TO OWNER AFTER DEMOLITION. CONTRACTOR TO CLEAN UNDER FLOOR DUCTS. CONTRACTOR MAY REUSE DUCT SYSTEM FOR ROUTING NEW CABLE TO NEW LOCATIONS OR REUSE EXISTING LOCATIONS.
- DISCONNECT AND REMOVE ALL UNUSED PHONE/DATA CABLE ABOVE CEILING.
- ANY SPECIAL SYSTEM NOT USED WITH IN AREA SHALL BE REMOVED BACK TO THE POINT OF SUPPLY. VERIFY WITH OWNER.
- PROVIDE BLANK COVER PLATES OVER ANY EXISTING UNUSED JUNCTION BOXES OR DATA LOCATIONS.
- REMOVE EXISTING FAN COIL UNIT AND ALL ASSOCIATED WIRING AND CONTROLS BACK TO POINT OF SUPPLY. REUSE EXISTING CIRCUITS AS NEEDED.
- REMOVE EXISTING NON-WORKING DOOR CONTROL CABINET AND ASSOCIATED CONDUITS TO CLEAR FOR NEW CONSTRUCTION.
- PHONE/DATA RACKS FOR THIS FLOOR TO BE RELOCATED AS DIRECTED BY OWNER AND LOCATED TO BUILDING FLOOR.
- EXISTING PHONE/DATA PATCH PANEL RACKS (12) TO BE REUSED ON 4TH, 5TH, AND 6TH FLOORS AS NEEDED. CONTRACTOR TO PROVIDE ANY ADDITIONAL VERTICAL OR HORIZONTAL CABLE MANAGEMENT SUPPORTS AS NEEDED. CONTRACTOR SHALL PROVIDE BONDING TO ALL RACKS PER ANSIE/NETA STANDARDS.
- CONDUIT TO 5TH FLOOR DATA NEEDS RELOCATED TO CLEAR NEW CONSTRUCTION.
- EXISTING CONDUIT AND JUNCTION BOX AND WIRING THIS WALL (NEXT TO WHERE NEW AHU#4 WILL BE LOCATED) SHALL BE REWIRED SO JUNCTION BOXES ARE NOT BEHIND NEW AHU LOCATION. EXTEND CONDUIT AND CIRCUITS AS REQUIRED TO CLEAR AREA.
- REMOVE EXISTING DISCONNECT SUPPLYING 'UPS' AND EXISTING PANEL 'WCOM' AND ASSOCIATED FEEDERS TO WIREWAY ABOVE. FEEDER TO REMAIN IN WIREWAY AND BE LABELED AS SPARE. PROVIDE 'KO' OVER ANY UNUSED OPENINGS.

GENERAL NOTES:

- ALL CIRCUITS INDICATED ON DRAWINGS SHALL BE 20A, 120V CIRCUITS WITH (2)#12'S AND (1)#12 G. IN 0.5" CONDUIT U.O.N.
- LABEL ALL SNAP SWITCH COVERPLATES WITH THE PANEL AND CIRCUIT NUMBER.
- REFER TO RELATED ARCHITECTURAL DRAWINGS FOR RELATED INFORMATION.
- REFER TO THE SPECIFICATIONS FOR DATA NOT ON THE DRAWINGS.
- WALL MOUNTING HEIGHTS TO CENTERLINE OF DEVICE UNLESS OTHERWISE NOTED.
- A GROUND CONDUCTOR SIZED PER N.E.C. ARTICLE 250 IS REQUIRED IN ALL POWER, RECEPTACLE, AND LIGHTING CIRCUITS. GROUND CONDUCTORS ARE NOT SHOWN ON DRAWINGS.
- REFER TO ARCHITECTURAL DEMO DRAWINGS FOR FURTHER INFORMATION.
- FOR PURPOSES OF THE ELECTRICAL DEMO DRAWINGS, ELECTRICAL DEVICES LOCATED IN EXISTING WALLS THAT ARE TO REMAIN AS IS ARE SHOWN HERE ON THE DEMO DRAWINGS AND ARE NOTED TO BE EITHER REMAIN AS IS WITH AN 'X' ADJACENT TO THEM OR ELECTRICAL DEVICES NOTED TO BE REMOVED NOTED WITH AN 'X' OVER THE DEVICE. REMOVE THE ELECTRICAL DEVICE (RECEPTACLE OR DATA BOX) AND THEIR ASSOCIATED CONDUITS AND WIRING BACK TO THE POINT OF ORIGIN. RECONNECT SO CONTINUITY OF EXISTING CIRCUIT IS MAINTAINED. WHERE ENTIRE CIRCUITS ARE REMOVED, TURN THE CIRCUIT BREAKER OFF AND LABEL AS 'SPARE'. WHERE EXISTING MECHANICAL EQUIPMENT IS REMOVED, ALL RELATED ELECTRICAL CIRCUITS TO THE EQUIPMENT AND THEIR ASSOCIATED CONDUITS SHALL BE REMOVED BACK TO THE POINT OF SUPPLY.
- CONTRACTOR SHALL MARK THE EXACT LOCATION OF THE UNDER FLOOR DUCT SYSTEM SO NO DAMAGE WILL OCCUR WHEN INSTALLING NEW WALLS.
- MODULAR FURNITURE IS CONNECTED TO POWER AND DATA VIA WHIPS PROVIDED BY FURNITURE MANUFACTURER. ELECTRICAL CONTRACTOR TO VERIFY WITH SUPPLIER PRIOR TO ROUGH-IN WHERE SUPPLY NEEDS TO BE SUPPLIED FROM.
- WHERE DATA CABLES ARE SUPPLIED TO WORK STATIONS THRU WHIPS, CABLES ARE RUN FOR WORK STATION LOCATIONS, CONTINUOUS TO DATA RACKS WITH NO SPLICES. VERIFY EACH CONDITION AT SITE.
- ALL ITEMS NOTED AS BEING REMOVED, SHALL BE REMOVED FROM SITE, UNLESS NOTED OTHERWISE.
- PROVIDE POWER TO ALL ACCESS CONTROL PANEL AS NEEDED.
- CONTRACTOR TO REPLACE OR REPAIR ANY EXISTING BROKEN RECEPTACLES. CHANGE OUT ANY ISOLATION GROUNDED RECEPTACLES WITH STANDARD SPEC. RECEPTACLES. PUT ALL REMAINING RECEPTACLES IN WORKING ORDER.

RONALD REAGAN BLDG RENOVATION - FLRS 4,5,6

271 W 3RD STREET, WICHITA, KANSAS 67202

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Revisions
 ADDENDUM 4-10-17

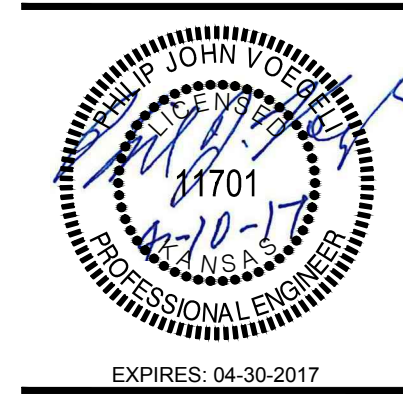
Project Number
 5278.05

Date
 10 MAR 2017
 4TH FLOOR
 NEW
 CONSTRUCTION/DEMO
 PLAN - POWER

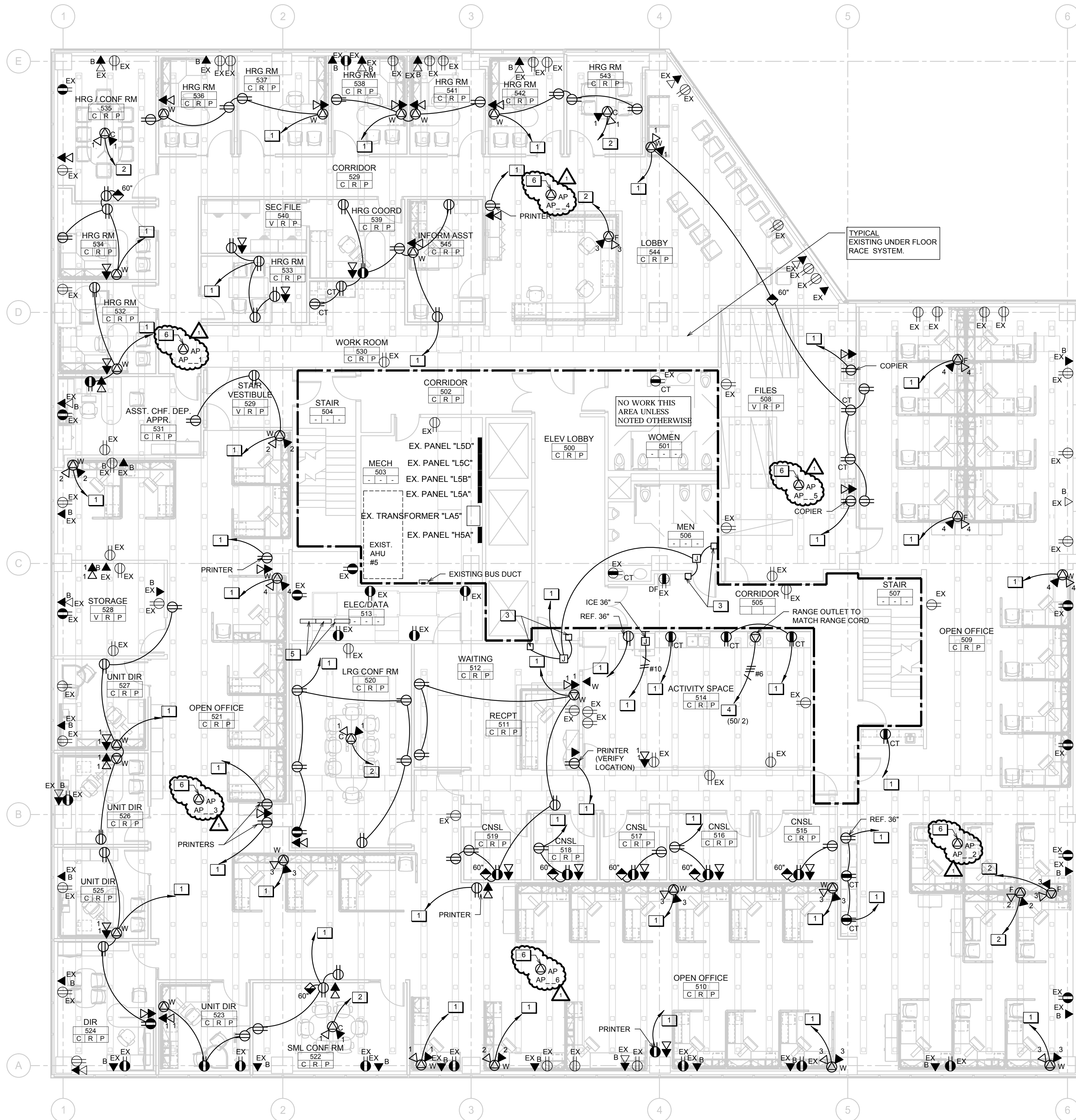
1/8" = 1'-0"

E23.1R

SJCF architecture
 Emprise Center | 257 N. Broadway | Wichita, Kansas 67202-2303 | 316.684.0171
 sjc.com



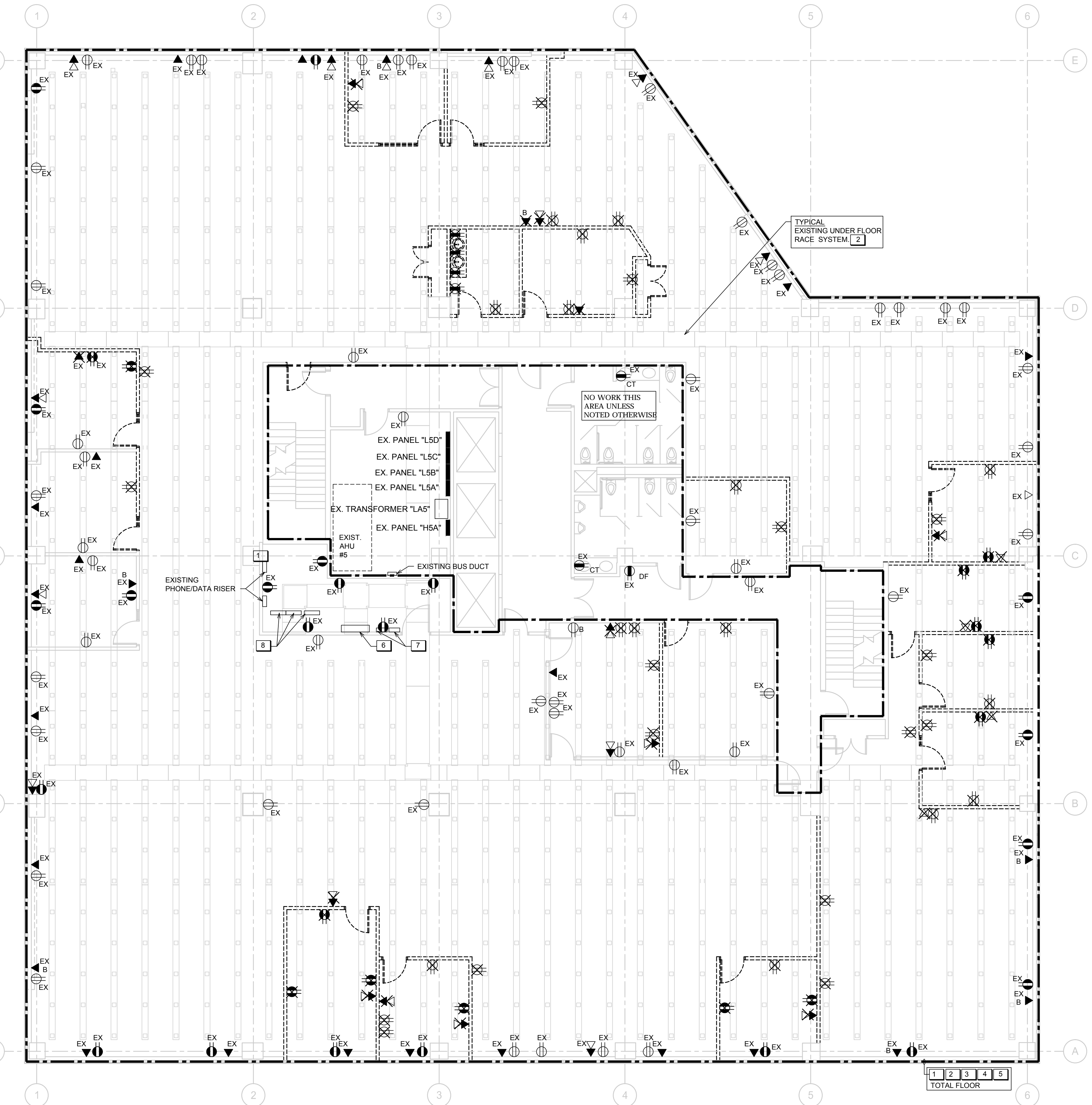
Integrated Consulting Engineers, Inc.
 1115 S. W. 10th St., Suite 100
 Topeka, KS 66604
 www.integratedinc.com



A LEVEL 5 - NEW CONSTRUCTION PLAN - POWER
SCALE: 1/8" = 1'-0"
NORTH

NEW CONSTRUCTION PLAN NOTES:

- 1 TO 20 A 1P BREAKER IN EXISTING 120V/208V PANELS
- 2 CONNECT TO EXISTING CIRCUIT IN UNDERFLOOR DUCT SYSTEM. VERIFY CIRCUIT LOADING.
- 3 CONNECT HANDICAP DOOR POWER AND BUTTONS.
- 4 TO 50 AMP 2 POLE BREAKER IN 120V/208V PANEL.
- 5 REMOVE EXISTING PATCH PANELS FROM RACKS. REUSE WIRE MANAGEMENT FROM EXISTING RACKS AND PROVIDE NEW AS NEEDED. PROVIDE NEW PATCH PANELS PER SPECIFICATIONS SUPPORT RACK FROM STRUCTURE AND GROUND TO GROUND BAR. BACKBONE CABLE BETWEEN FLOORS PROVIDED AND TERMINATED TO PATCH PANELS BY OWNER.
- 6 CISCO WIRELESS ACCESS POINTS LOCATED ON CEILING. CONTRACTOR SHALL PROVIDE AND INSTALL - (1) CAT 6A CABLE @ EACH AP WITH 20' OF EXTRA CABLE SPOOLED NEAR THE AP LOCATION FOR FUTURE PROOFING. ROUTE CABLES BACK TO PHONE/DATA RACKS. PROVIDE TERMINATIONS ON ENDS.



B LEVEL 5 - DEMOLITION PLAN - POWER
SCALE: 1/8" = 1'-0"
NORTH

DEMOLITION PLAN NOTES:

- 1 REMOVE AND DISCONNECT RECEPTACLE BACK TO THE POINT OF SUPPLY. DEVICES ARE LOCATED PER SITE VISIT. BUT MAY NOT INDICATE ALL DEVICES. ALL DEVICES IN REMOVED WALLS ARE TO BE DISCONNECTED AND REMOVED. CONTINUITY OF CIRCUIT SHALL BE MAINTAINED ON ANY REMAINING DEVICE.
- 2 EXISTING UNDER FLOOR DUCT ACTIVATIONS ARE NOT INDICATED. CONTRACTOR SHALL REMOVE ALL PHONE/DATA CABLES WITHIN FLOOR DUCT SYSTEM BACK TO TERMINAL BOARD OR RACKS IN IT ROOM. RETURN ALL UNUSED UNDER FLOOR DUCT POWER/PHONE/DATA CONNECTIONS, PARTS, AND ACCESSORIES TO OWNER AFTER DEMOLITION. CONTRACTOR TO CLEAN UNDER FLOOR DUCTS. CONTRACTOR MAY REUSE DUCT SYSTEM FOR ROUTING NEW CABLES TO NEW LOCATIONS OR REUSE EXISTING LOCATIONS.
- 3 DISCONNECT AND REMOVE ALL UNUSED PHONE/DATA CABLES ABOVE CEILING.
- 4 ANY SPECIAL SYSTEM NOT USED WITH IN AREA SHALL BE REMOVED BACK TO THE POINT OF SUPPLY. VERIFY WITH OWNER.
- 5 PROVIDE BLANK COVER PLATES OVER ANY EXISTING UNUSED JUNCTION BOXES OR DATA LOCATIONS.
- 6 REMOVE EXISTING 110 BLOCK OR RACK AND ASSOCIATED EXISTING WIRING FROM THIS FLOOR.
- 7 EXISTING DOOR CONTROL TO REMAIN.
- 8 REMOVE EXISTING PATCH PANELS FROM RACKS. REUSE WIRE MANAGEMENT FROM EXISTING RACKS AND PROVIDE NEW AS NEEDED. PROVIDE NEW PATCH PANELS PER SPECIFICATIONS SUPPORT RACK FROM STRUCTURE AND GROUND TO GROUND BAR. BACKBONE CABLE BETWEEN FLOORS PROVIDED AND TERMINATED TO PATCH PANELS BY OWNER.

GENERAL NOTES:

- 1 ALL CIRCUITS INDICATED ON DRAWINGS SHALL BE 20A, 120V CIRCUITS WITH (2)#12'S AND (1)#12 G. IN 0.5" CONDUIT U.O.N.
- 2 LABEL ALL SNAP SWITCH COVERPLATES WITH THE PANEL AND CIRCUIT NUMBER.
- 3 REFER TO RELATED ARCHITECTURAL DRAWINGS FOR RELATED INFORMATION.
- 4 REFER TO THE SPECIFICATIONS FOR DATA NOT ON THE DRAWINGS.
- 5 WALL MOUNTING HEIGHTS TO CENTERLINE OF DEVICE UNLESS OTHERWISE NOTED.
- 6 A GROUND CONDUCTOR SIZED PER N.E.C. ARTICLE 250 IS REQUIRED IN ALL POWER, RECEPTACLE, AND LIGHTING CIRCUITS. GROUND CONDUCTORS ARE NOT SHOWN ON DRAWINGS.
- 7 REFER TO ARCHITECTURAL DEMO DRAWINGS FOR FURTHER INFORMATION.
- 8 FOR PURPOSES OF THE ELECTRICAL DEMO DRAWINGS, ELECTRICAL DEVICES LOCATED IN EXISTING WALLS THAT ARE TO REMAIN AS IS ARE SHOWN HERE ON THE DEMO DRAWINGS AND ARE NOTED TO BE EITHER REMAIN AS IS WITH AN 'X' ADJACENT TO THEM OR ELECTRICAL DEVICES NOTED TO BE REMOVED NOTED WITH AN 'X' OVER THE DEVICE. REMOVE THE ELECTRICAL DEVICE (RECEPTACLE OR DATA BOX) AND THEIR ASSOCIATED CONDUITS AND WIRING BACK TO THE POINT OF ORIGINATION. RECONNECT SO CONTINUITY OF EXISTING CIRCUIT IS MAINTAINED. WHERE ENTIRE CIRCUITS ARE REMOVED, TURN THE CIRCUIT BREAKER OFF AND LABEL AS 'SPARE' WHERE EXISTING MECHANICAL EQUIPMENT IS REMOVED, ALL RELATED ELECTRICAL CIRCUITS TO THE EQUIPMENT AND THEIR ASSOCIATED CONDUITS SHALL BE REMOVED BACK TO THE POINT OF SUPPLY.
- 9 CONTRACTOR SHALL MARK THE EXACT LOCATION OF THE UNDER FLOOR DUCT SYSTEM SO NO DAMAGE WILL OCCUR WHEN INSTALLING NEW WALLS.
- 10 MODULAR FURNITURE IS CONNECTED TO POWER AND DATA VIA WHIPS PROVIDED BY FURNITURE MANUFACTURER. ELECTRICAL CONTRACTOR TO VERIFY WITH SUPPLIER PRIOR TO ROUGH-IN WHERE SUPPLY NEEDS TO BE SUPPLIED FROM.
- 11 WHERE DATA CABLES ARE SUPPLIED TO WORK STATIONS THRU WHIPS, CABLES ARE RUN FOR WORK STATION LOCATIONS, CONTINUOUS TO DATA RACKS WITH NO SPLICES. VERIFY EACH CONDITION AT SITE.
- 12 ALL ITEMS NOTED AS BEING REMOVED, SHALL BE REMOVED FROM SITE, UNLESS NOTED OTHERWISE.
- 13 PROVIDE POWER TO ALL ACCESS CONTROL PANEL AS NEEDED.
- 14 CONTRACTOR TO REPLACE OR REPAIR ANY EXISTING BROKEN RECEPTACLES. CHANGE OUT ANY ISOLATION GROUNDED RECEPTACLES WITH STANDARD SPEC. RECEPTACLES. PUT ALL REMAINING RECEPTACLES IN WORKING ORDER.

**RONALD REAGAN BLDG
RENOVATION - FLRS 4,5,6**
271 W 3RD STREET, WICHITA, KANSAS 67202

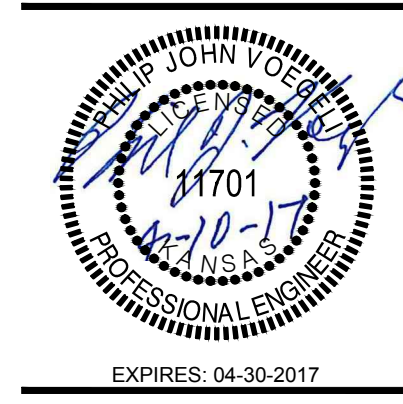
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Revisions
ADDENDUM 4-10-17

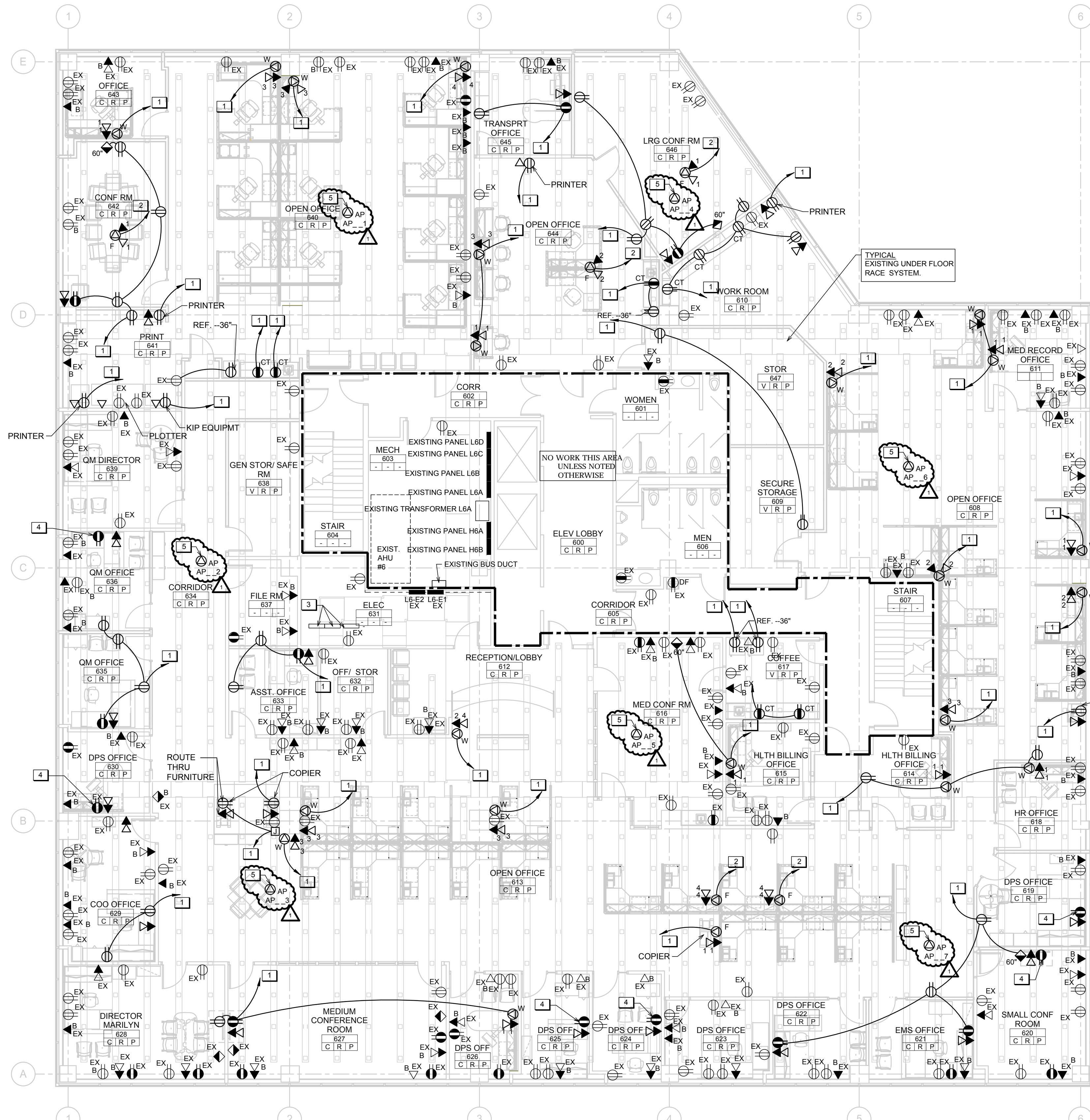
Project Number
5278.05

Date
10 MAR 2017
**5TH FLOOR
NEW
CONSTRUCTION/DEMO
PLAN-POWER**

1/8" = 1'-0"
E24.1R



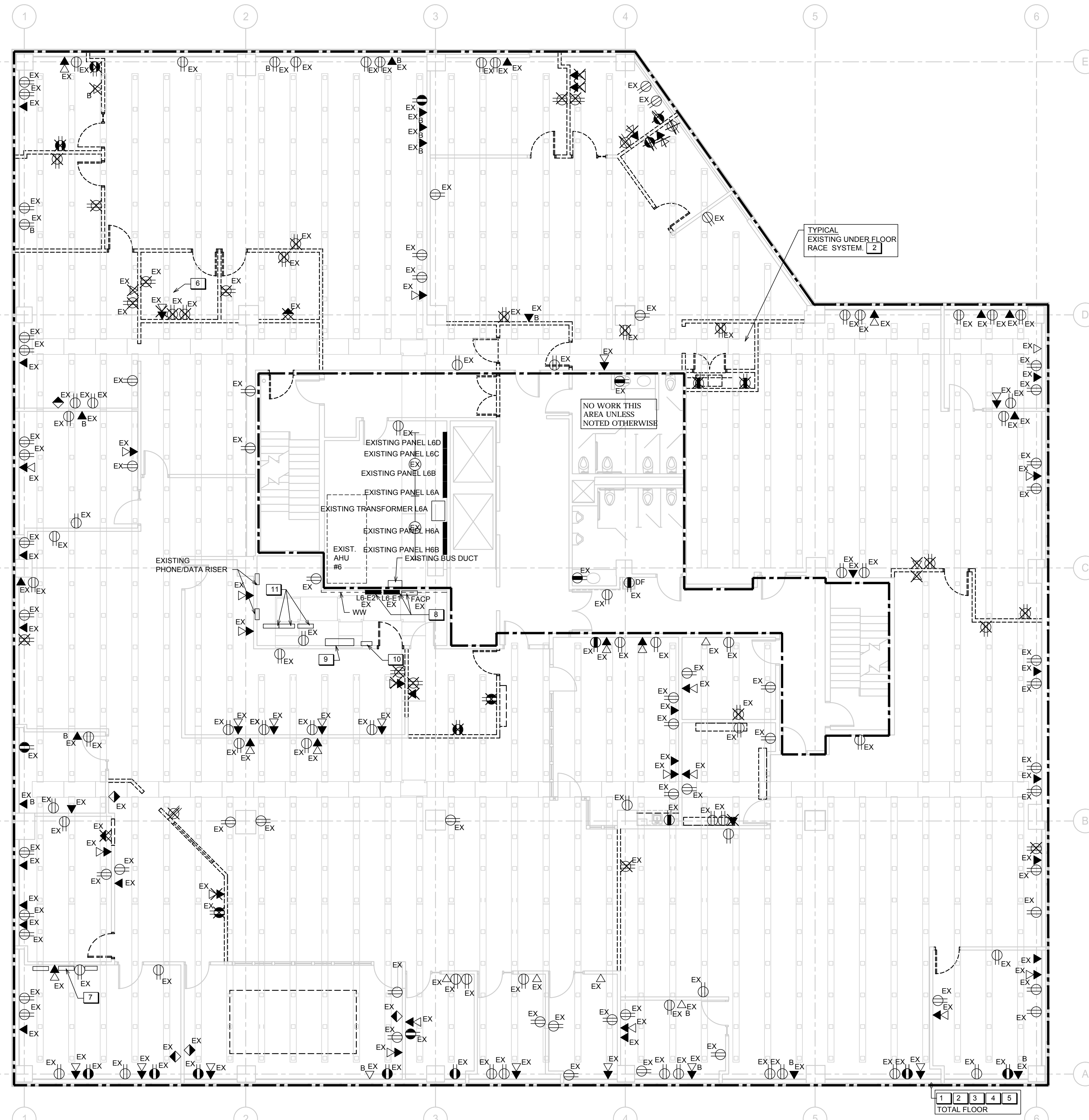
17038.00011
Integrated Consulting
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1115 S. W. 10th St., Suite 101
Wichita, KS 67202
www.integratedinc.com



A LEVEL 6 - NEW CONSTRUCTION PLAN - POWER
 SCALE: 1/8" = 1'-0"
 NORTH

NEW CONSTRUCTION PLAN NOTES:

- 1 TO 20 A 1P BREAKER IN EXISTING 120/208V PANEL
- 2 CONNECT TO EXISTING CIRCUIT IN UNDERFLOOR DUCT SYSTEM. VERIFY CIRCUIT LOADING.
- 3 REMOVE EXISTING PATCH PANELS FROM RACKS. REUSE WIRE MANAGEMENT FROM EXISTING RACKS AND PROVIDE NEW AS NEEDED. PROVIDE NEW PATCH PANELS PER SPECIFICATIONS SUPPORT RACK FROM STRUCTURE AND GROUND TO GROUND BAR. BACKBONE CABLE, BETWEEN FLOORS PROVIDED AND TERMINATED TO PATCH PANELS BY OWNER.
- 4 REPLACE EXISTING DUPLEX RECEPTACLES WITH DOUBLE DUPLEX AND CONNECT TO EXISTING CIRCUIT.
- 5 CISCO WIRELESS ACCESS POINTS LOCATED ON CEILING. CONTRACTOR SHALL PROVIDE AND INSTALL 1) CAT 6A CABLE @ EACH AP WITH 20' OF EXTRA CABLE SPOOLED NEAR THE AP LOCATION FOR FUTURE PROOFING. ROUTE CABLES BACK TO PHONE/DATA RACKS. PROVIDE TERMINATIONS ON ENDS.



B LEVEL 6 - DEMOLITION PLAN - POWER
 SCALE: 1/8" = 1'-0"
 NORTH

DEMOLITION PLAN NOTES:

- 1 REMOVE AND DISCONNECT RECEPTACLE BACK TO THE POINT OF SUPPLY. DEVICES ARE LOCATED PER SITE VISIT, BUT MAY NOT INDICATE ALL DEVICES. ALL DEVICES IN REMOVED WALLS ARE TO BE DISCONNECTED AND REMOVED. CONTINUITY OF CIRCUIT SHALL BE MAINTAINED ON ANY REMAINING DEVICE.
- 2 EXISTING UNDER FLOOR DUCT ACTIVATIONS ARE NOT INDICATED. CONTRACTOR SHALL REMOVE ALL PHONE/DATA CABLES WITHIN FLOOR DUCT SYSTEM BACK TO TERMINAL BOARD OR RACKS IN IT ROOM. RETURN ALL UNUSED UNDER FLOOR DUCT POWER/PHONE/DATA CONNECTIONS, PARTS, AND ACCESSORIES TO OWNER AFTER DEMOLITION. CONTRACTOR TO CLEAN UNDER FLOOR DUCTS. CONTRACTOR MAY REUSE DUCT SYSTEM FOR ROUTING NEW CABLE TO NEW LOCATIONS OR REUSE EXISTING LOCATIONS.
- 3 DISCONNECT AND REMOVE ALL UNUSED PHONE/DATA CABLING ABOVE CEILING.
- 4 ANY SPECIAL SYSTEM NOT USED WITH IN AREA SHALL BE REMOVED BACK TO THE POINT OF SUPPLY. VERIFY WITH OWNER.
- 5 REMOVE BLANK COVER PLATES OVER ANY EXISTING UNUSED JUNCTION BOXES OR DATA LOCATIONS.
- 6 REMOVE CIRCUITING TO EXISTING MINI SPLIT AIR CONDITIONER AND ASSOCIATED CONDENSING UNIT ON ROOF. REMOVE BACK TO POINT OF SUPPLY. REFER TO MECH DRAWINGS FOR COND. UNIT LOCATION.
- 7 REMOVE EXISTING TTB AND ASSOCIATED WIRING. VERIFY WITH OWNER PRIOR TO REMOVAL.
- 8 REMOVE EXISTING PANELS L6E-1 AND L6 E-2. ON 5TH FLOOR THE ASSOCIATED 30KVA TRANSFORMER, DISCONNECT SWITCH AND BUS DUCT PLUG, AND ALL ASSOCIATED BRANCH CIRCUITS. REMOVE FACP AND ASSOCIATED DEVICES AND CONNECTIONS TO BUILDING FIRE ALARM SYSTEM.
- 9 REMOVE EXISTING 110 BLOCK OR RACK AND ASSOCIATED EXISTING WIRING FROM THIS FLOOR.
- 10 EXISTING DOOR CONTROL TO REMAIN.
- 11 REMOVE EXISTING PATCH PANELS FROM RACKS. REUSE WIRE MANAGEMENT FROM EXISTING RACKS AND PROVIDE NEW AS NEEDED. PROVIDE NEW PATCH PANELS PER SPECIFICATIONS SUPPORT RACK FROM STRUCTURE AND GROUND TO GROUND BAR. BACKBONE CABLE, BETWEEN FLOORS PROVIDED AND TERMINATED TO PATCH PANELS BY OWNER.

GENERAL NOTES:

1. ALL CIRCUITS INDICATED ON DRAWINGS SHALL BE 20A, 120V CIRCUITS WITH (2)#12'S AND (1)#12 G. IN 0.5" CONDUIT U.O.N.
2. LABEL ALL SNAP SWITCH COVERPLATES WITH THE PANEL AND CIRCUIT NUMBER.
3. REFER TO RELATED ARCHITECTURAL DRAWINGS FOR RELATED INFORMATION.
4. REFER TO THE SPECIFICATIONS FOR DATA NOT ON THE DRAWINGS.
5. WALL MOUNTING HEIGHTS TO CENTERLINE OF DEVICE UNLESS OTHERWISE NOTED.
6. A GROUND CONDUCTOR SIZED PER N.E.C. ARTICLE 250 IS REQUIRED IN ALL POWER, RECEPTACLE, AND LIGHTING CIRCUITS. GROUND CONDUCTORS ARE NOT SHOWN ON DRAWINGS.
7. REFER TO ARCHITECTURAL DEMO DRAWINGS FOR FURTHER INFORMATION.
8. FOR PURPOSES OF THE ELECTRICAL DEMO DRAWINGS, ELECTRICAL DEVICES LOCATED IN EXISTING WALLS THAT ARE TO REMAIN AS IS ARE SHOWN HERE ON THE DEMO DRAWINGS AND ARE NOTED TO BE EITHER REMAIN AS IS WITH AN 'X' ADJACENT TO THEM OR ELECTRICAL DEVICES NOTED TO BE REMOVED NOTED WITH AN 'X' OVER THE DEVICE. REMOVE THE ELECTRICAL DEVICE (RECEPTACLE OR DATA BOX) AND THEIR ASSOCIATED CONDUITS AND WIRING BACK TO THE POINT OF ORIGIN. RECONNECT SO CONTINUITY OF EXISTING CIRCUIT IS MAINTAINED. WHERE ENTIRE CIRCUITS ARE REMOVED, TURN THE CIRCUIT BREAKER OFF AND LABEL AS 'SPARE' WHERE EXISTING MECHANICAL EQUIPMENT IS REMOVED, ALL RELATED ELECTRICAL CIRCUITS TO THE EQUIPMENT AND THEIR ASSOCIATED CONDUITS SHALL BE REMOVED BACK TO THE POINT OF SUPPLY.
9. CONTRACTOR SHALL MARK THE EXACT LOCATION OF THE UNDER FLOOR DUCT SYSTEM SO NO DAMAGE WILL OCCUR WHEN INSTALLING NEW WALLS.
10. MODULAR FURNITURE IS CONNECTED TO POWER AND DATA VIA WHIPS PROVIDED BY FURNITURE MANUFACTURER. ELECTRICAL CONTRACTOR TO VERIFY WITH SUPPLIER PRIOR TO ROUGH-IN WHERE SUPPLY NEEDS TO BE SUPPLIED FROM.
11. WHERE DATA CABLES ARE SUPPLIED TO WORK STATIONS THRU WHIPS, CABLES ARE RUN FOR WORK STATION LOCATIONS, CONTINUOUS TO DATA RACKS WITH NO SPLICES. VERIFY EACH CONDITION AT SITE.
12. ALL ITEMS NOTED AS BEING REMOVED, SHALL BE REMOVED FROM SITE, UNLESS NOTED OTHERWISE.
13. PROVIDE POWER TO ALL ACCESS CONTROL PANEL AS NEEDED.
14. CONTRACTOR TO REPLACE OR REPAIR ANY EXISTING BROKEN RECEPTACLES. CHANGE OUT ANY ISOLATION GROUNDED RECEPTACLES WITH STANDARD SPEC. RECEPTACLES. PUT ALL REMAINING RECEPTACLES IN WORKING ORDER.

