



**SEDGWICK COUNTY, KANSAS
FINANCE DEPARTMENT**

Purchasing Section

525 N. Main, Suite 823 ~ Wichita, KS 67203

Phone: 316 660-7255 Fax: 316 383-7055

<http://sedgwickcounty.org/finance/purchasing.asp>

ADDENDUM 1

18-009

EMS POST 8 REMODEL AND BUILDING REPAIRS

March 27, 2018

The following is to ensure that vendors have complete information prior to submitting a bid.

CONTINUED ON NEXT PAGE

Addendum Number One

To The Drawings and Specifications for
Sedgwick County **EMS Post 8**

HANNEY & ASSOCIATES ARCHITECTS

1726 South Hillside, Wichita, Kansas

NOTICE TO BIDDERS

You are hereby instructed to include in your bids the following changes and/or corrections to the Drawings and Specifications for the **Sedgwick County EMS Post 8**, in Park City, Kansas.

The additions and/or corrections shall be considered as a part of the Contract Documents as if incorporated therein. Where the following corrections and/or additions vary from the conditions of the Drawings and Specifications, such following changes or additions shall govern.

I. GENERAL CLARIFICATIONS:

- 1.1 The Bid Date and Time shall remain unchanged.
- 1.2 The sign in sheet of the pre-bid meeting is posted on the Sedgwick County – Purchasing Departments web site.
- 1.3 Products or manufacturers approved as “Equals” shall meet all requirements of the plans, specifications, standards of performance and construction as established by the product or manufacturer originally specified.
- 1.4 Demo of concrete locker bases is listed as Alternate-1 and as Base Bid. The removal of the concrete locker bases are to be included in the scope of Alternate-1.
- 1.5 Mechanical is re-issuing the exhaust fan schedule and is included with this addendum.
- 1.6 Firestone: SBS Premium FR is an approved equal to the specified Tamko: Awaplan Premium FR.
 - a. Firestone: Ply IV is an approved equal to the specified Tamko:Tam-Ply IV.
- 1.7 Exterior Insulation Finish System (E.I.F.S.)
The existing E.I.F.S. is to be cleaned, primed and painted. There are several areas that have been damaged by hail and abuse that shall be repaired prior to the application of new finish.

II. CHANGES TO THE DRAWINGS:

- 2.1 Sheet C1.0
The replacement pavement shall be 5” thick asphalt on 6” reinforced crushed rock sub-base. The asphalt shall be 1-1/2” top course and 3-1/2” base course, the mix shall be as adopted for work on Sedgwick County.
- 2.2. Sheet C2.0
The replacement patch shall be 7” thick asphalt on 6” reinforced crushed rock sub-base.

- 2.3 Sheets C2.0, C3.0 and SP1.1
The depth of the new N-S underground rain leader shall be set to pass the electrical conduit going from the Electrical Transformer and Electrical Generator to the building. The crossing depth will set the depth of the balance of the system.
- 2.4 Sheet SP1.4
This sheet was missing from the bid set and is being issued with this addendum.
- 2.5 Sheet D1.0
Photo indicators used in design were left “turned on”. These directional detail arrows shall be deleted from this sheet. A revised sheet D1.0 is included in this addendum.
- 2.6 Sheet D1.1
- 2.6.1 On the left side of the sheet there is a note directing the GC to clean these closets, removing all debris. This note shall be clarified to indicate the closets 120, 121 and 127 (only accessible from the exterior).
- 2.6.2 Base Bid Demolition Notes, note 33 shall be clarified to be work included in Alternate-1.
- 2.7 Sheet D1.2
- 2.7.1 Alternate One Demolition Notes, note 32 is missing. This note shall be the same as note 32 on Sheet D1.1, Water Damage: Existing wood base and GWB has water damage and shall be remove from the window sill down to the finished floor. Provide clean and finish Cut line on the wood base and GWB to allow for future repairs. This work is completed in the Base Bid and indicated by the heavier dashed line shown on D1.1 and D1.2. The balance of the base and GWB shall be removed with Alternate 1 (down from the suspended ceiling as noted).
- 2.7.2 There shall be a #32 indicator pointing to the heavier dashed line on the South will (similar to sheet D1.1).
- 2.8 Sheet A1.0
There is a note in the upper left hand corner noted “Alternate1”. This note shall be corrected the portion of the note discussing the Base Bid work in the Crew Quarters. There is minor work in the Crew Quarters in the Base Bid as noted on sheet D1.1
- 2.9 Sheet A1.4
Signage #18 is noted to the right of the Sedgwick County Emergency Medical Service sign detail #3. Number 18 is a 3'-0" diameter County Seal, provided by the Owner and installed by the General Contractor. The location for the installation is shown on A4.2
- 2.10 Sheet A4.1
- 2.10.1 The East and West triangular walls that close off the former courtyard in the Fire Crew Quarters shall be cleaned and painted in the Base Bid. These triangular walls are shown on Elevations 1 and 4, located on the roof of the Crew Quarters. The color will be selected by the Architect and Sedgwick County Project Manager.

END OF ADDENDUM

Mechanical Concepts L.L.C.

Richard J. Bowman LEED AP

Phone (316)733-2718

Fax (877)839-4680

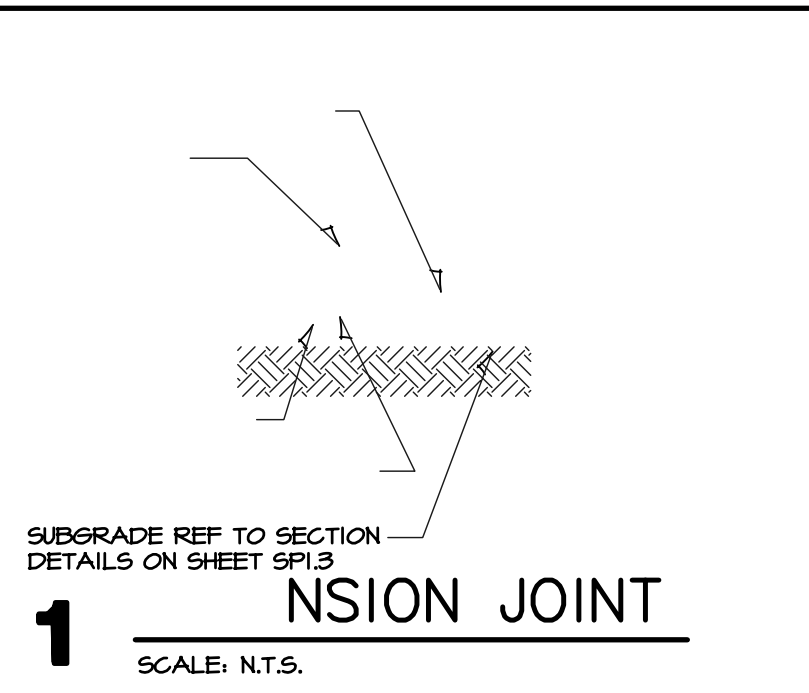
14801 Timber Lake Road
Wichita, Kansas 67230

E-mail rb@richardbowman.us

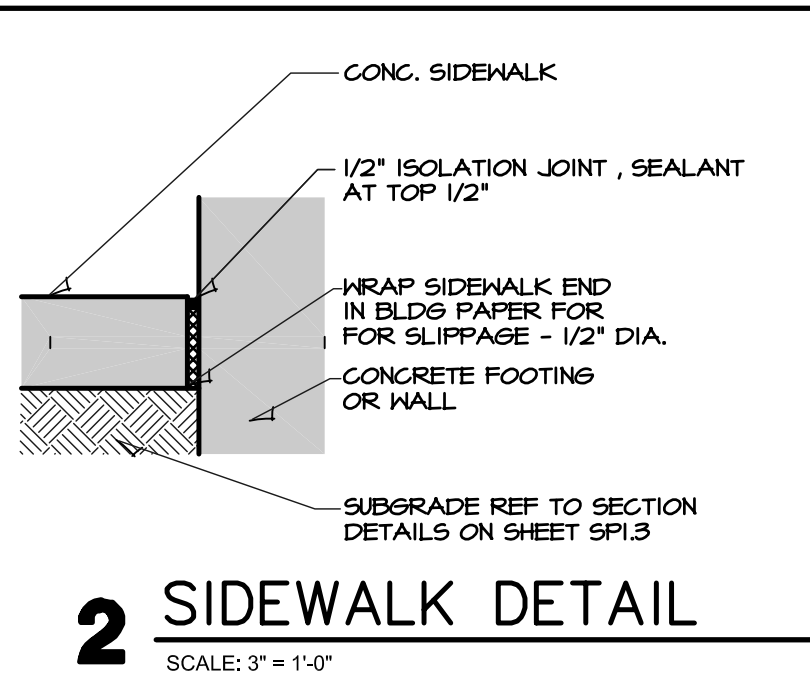
Mechanical Addenda #1

EXHAUST FAN SCHEDULE													
MARK	MANUF.	MODEL NUMBER	C.F.M	FAN					ELECTRICAL			TEMPERATURE	NOTES
				EXT. S.P.	BHP	MHP	ZONES	T.S.	DRIVE	RPM	VOLTAGE		
E.F. 1	COOK	150 ACRUB	525	.6	.13	1/4	5.5	4114	BELT	1048	115/1/60	90	2,3,8

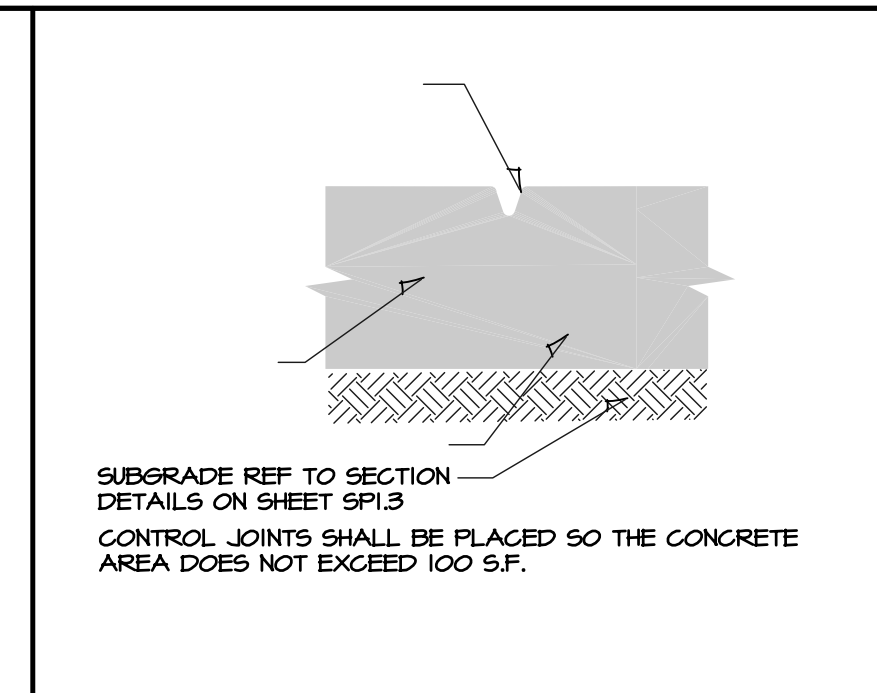
NOTES:
1. ALL FANS ARE SELECTED AT 1339 FT ELEVATION.
2. GREENHECK, CARNES, JENN-AIR, PENN, TWIN CITY ARE APPROVED EQUALS.
3. PROVIDE FAN WITH UL 761, VENTILATED CURB EXTENSION & HINGED BASE, GREASE TROUGH & COLLECTOR, DISCONNECT, BELT TIGHTNER, 12" HIGH CURB. E.C. TO WIRE FAN WITH SWITCH ON HOOD.



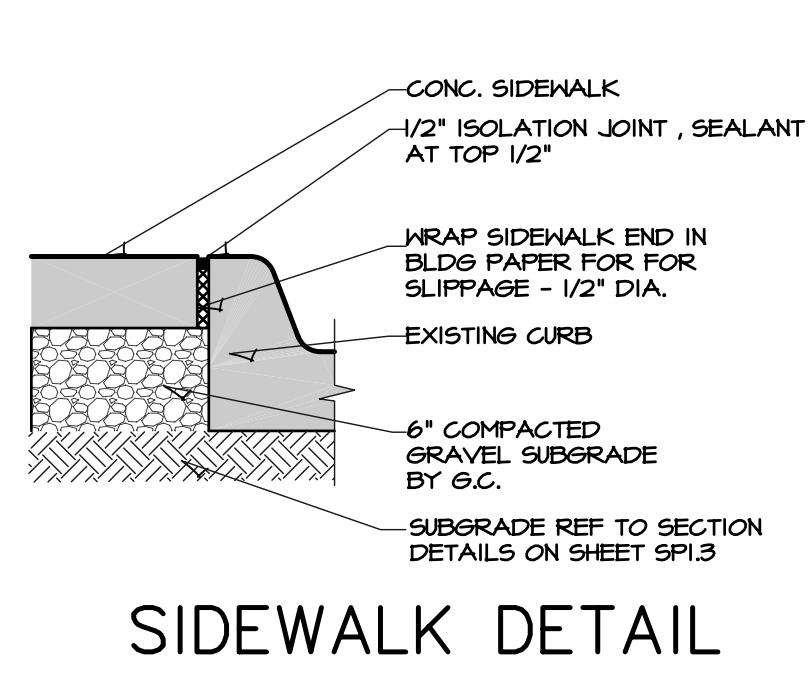
1 EXPANSION JOINT
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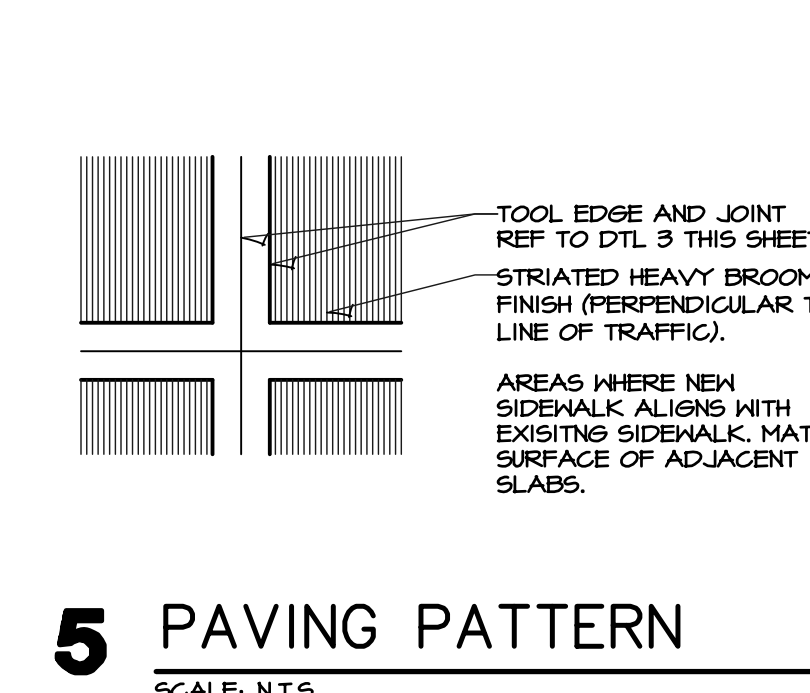
2 SIDEWALK DETAIL
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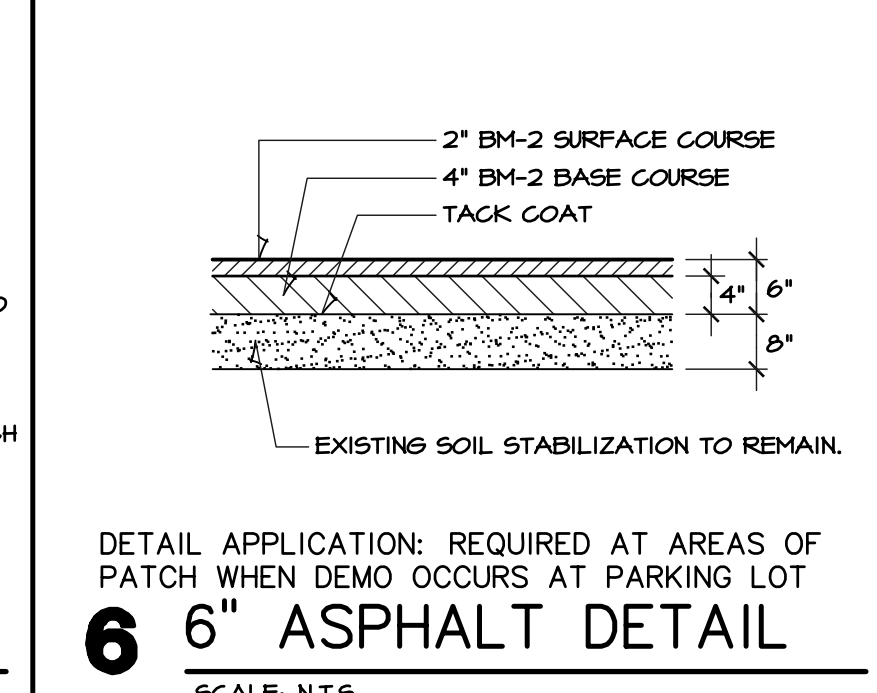
3 SIDEWALK DETAIL
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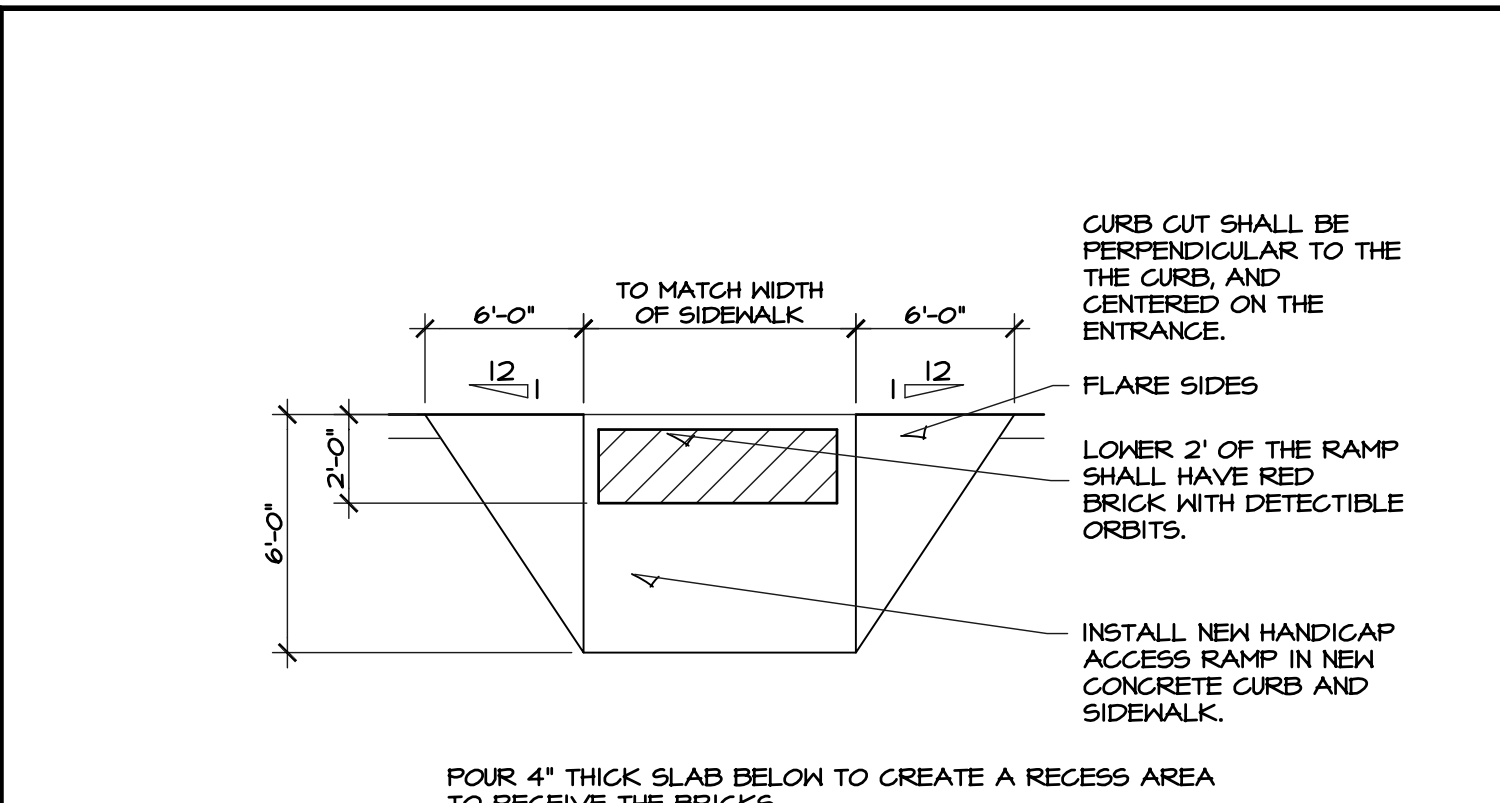
4 SIDEWALK DETAIL
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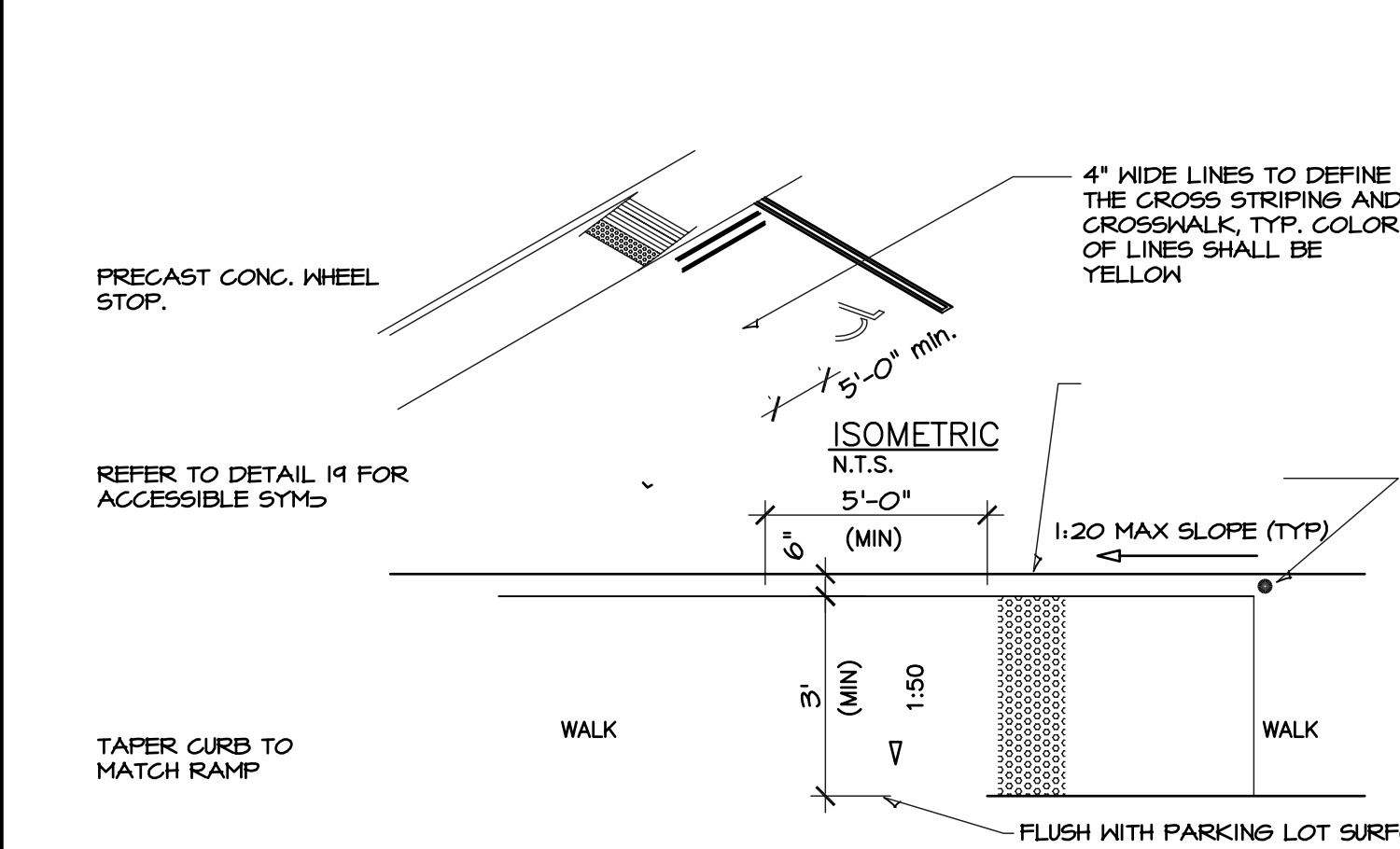
5 PAVING PATTERN
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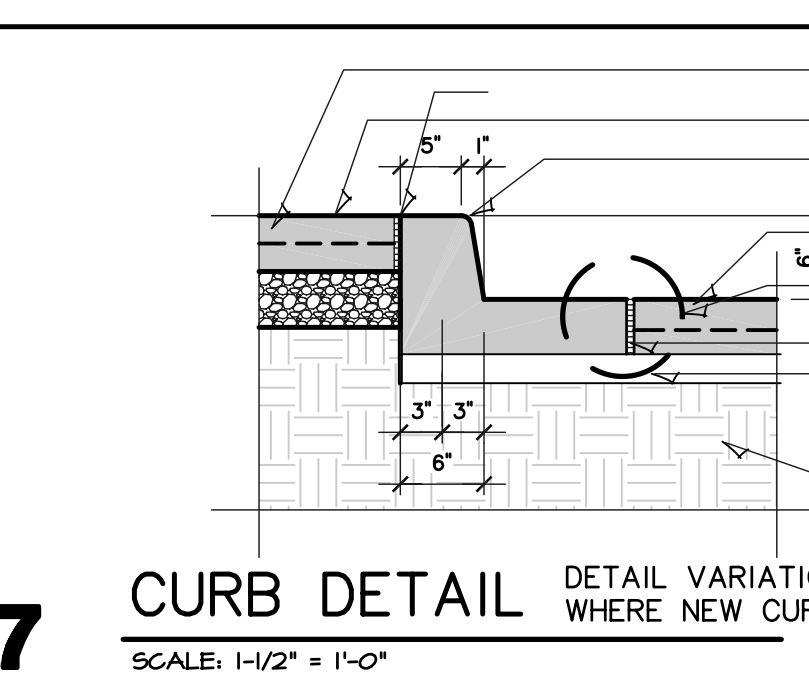
6 6\"/>



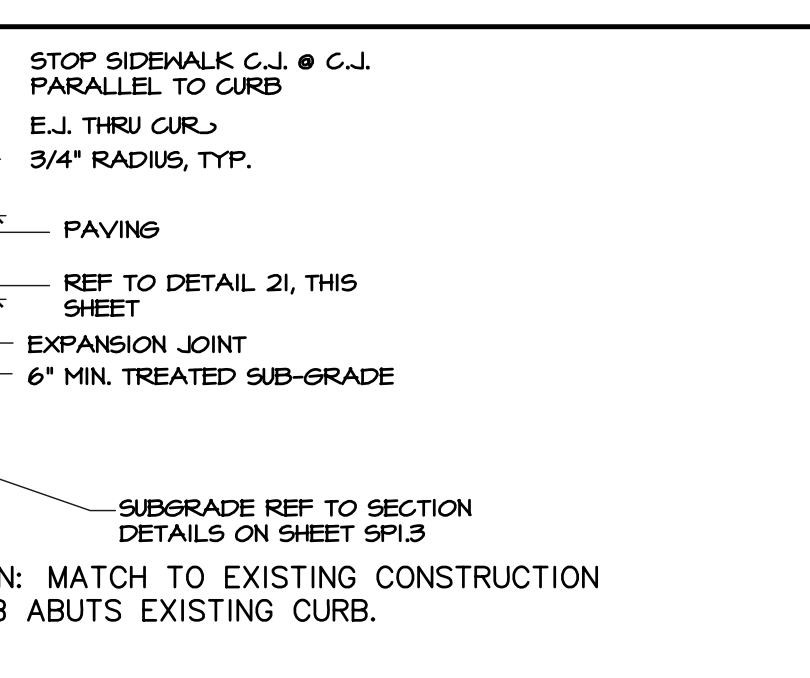
7 ACCESSIBLE RAMP DETAIL
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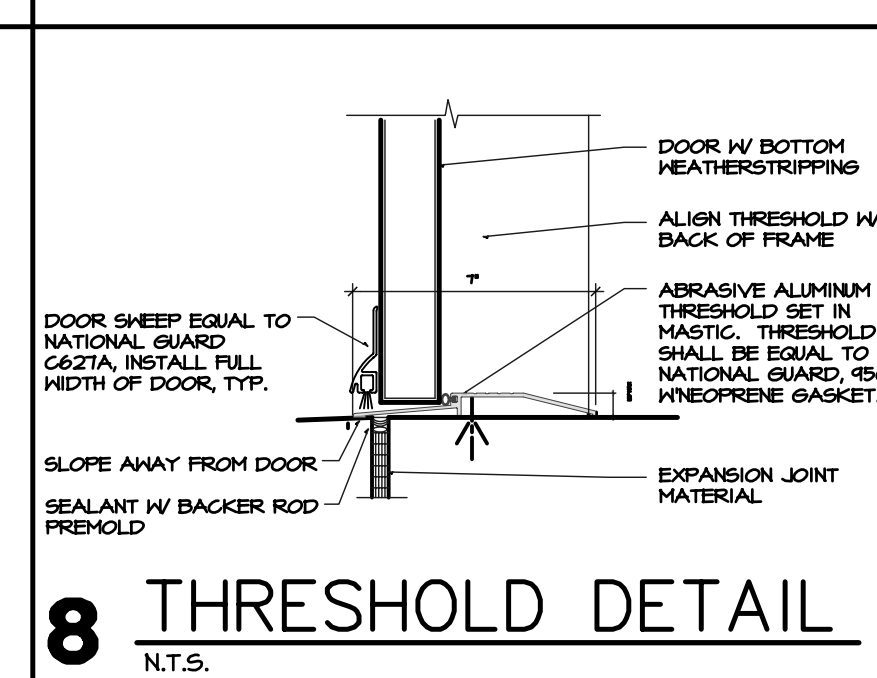
8 ADA RAMP DETAIL
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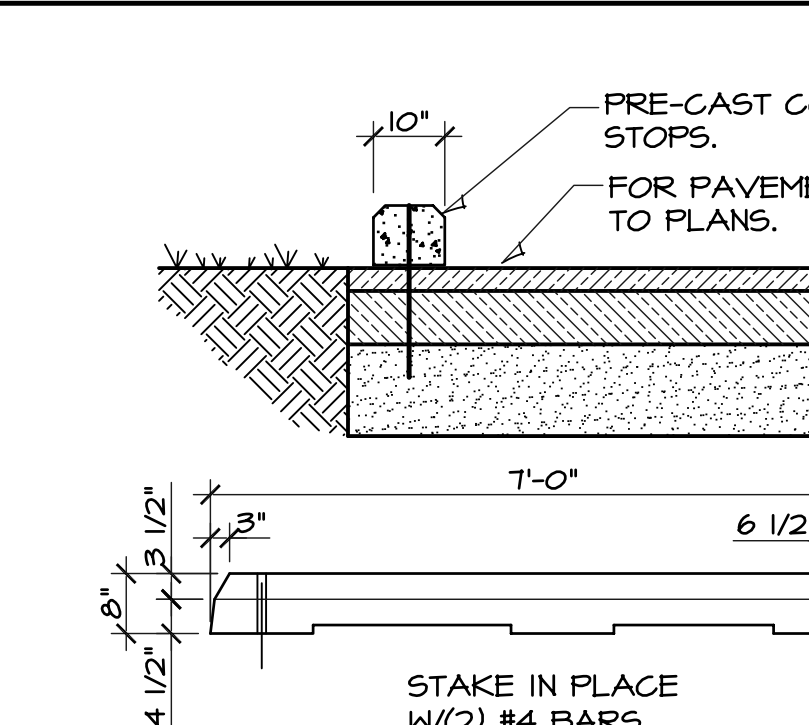
9 CURB DETAIL
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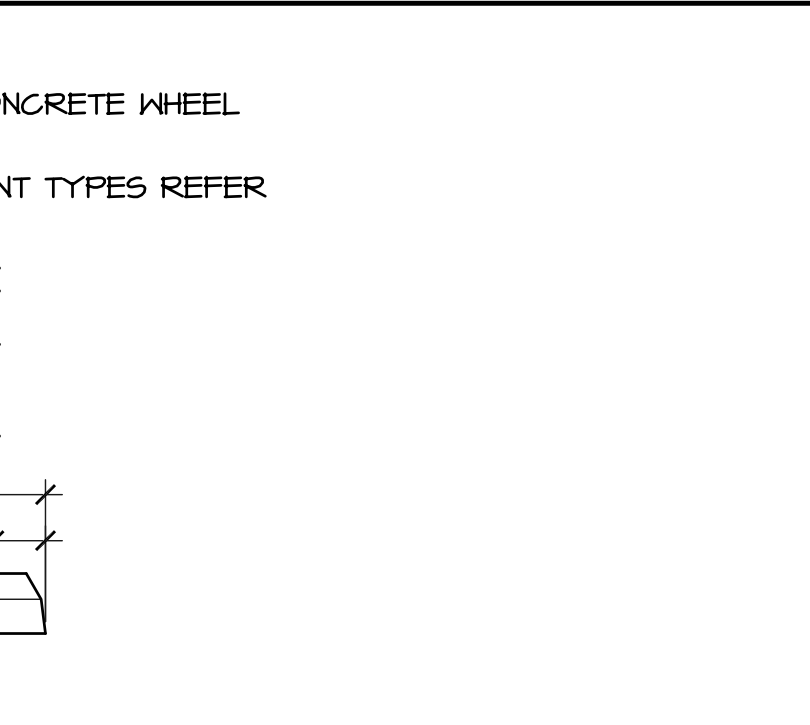
10 THRESHOLD DETAIL
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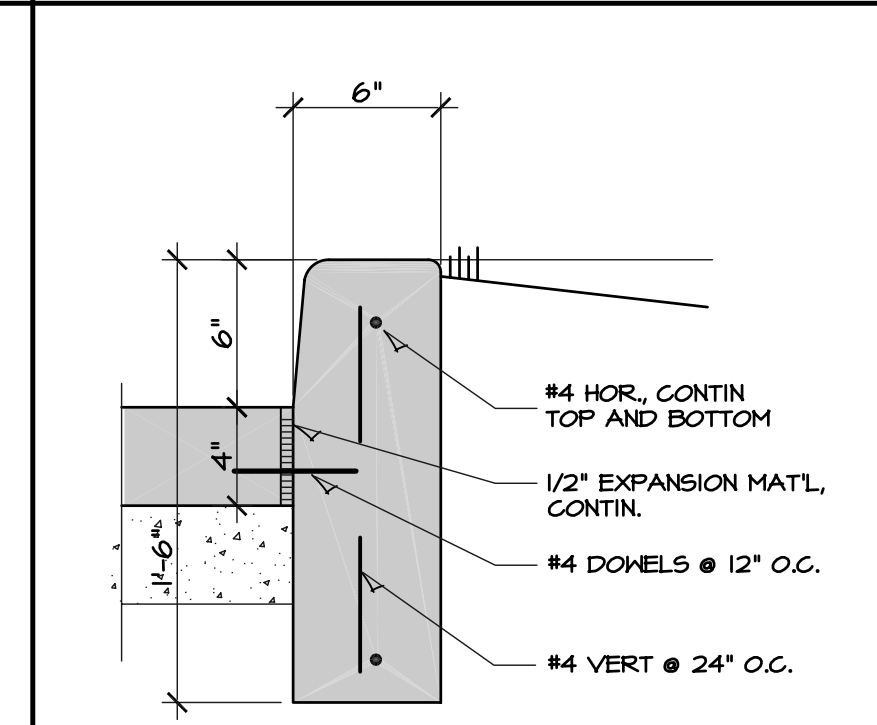
11 CLEAR WIDTH AT TURN
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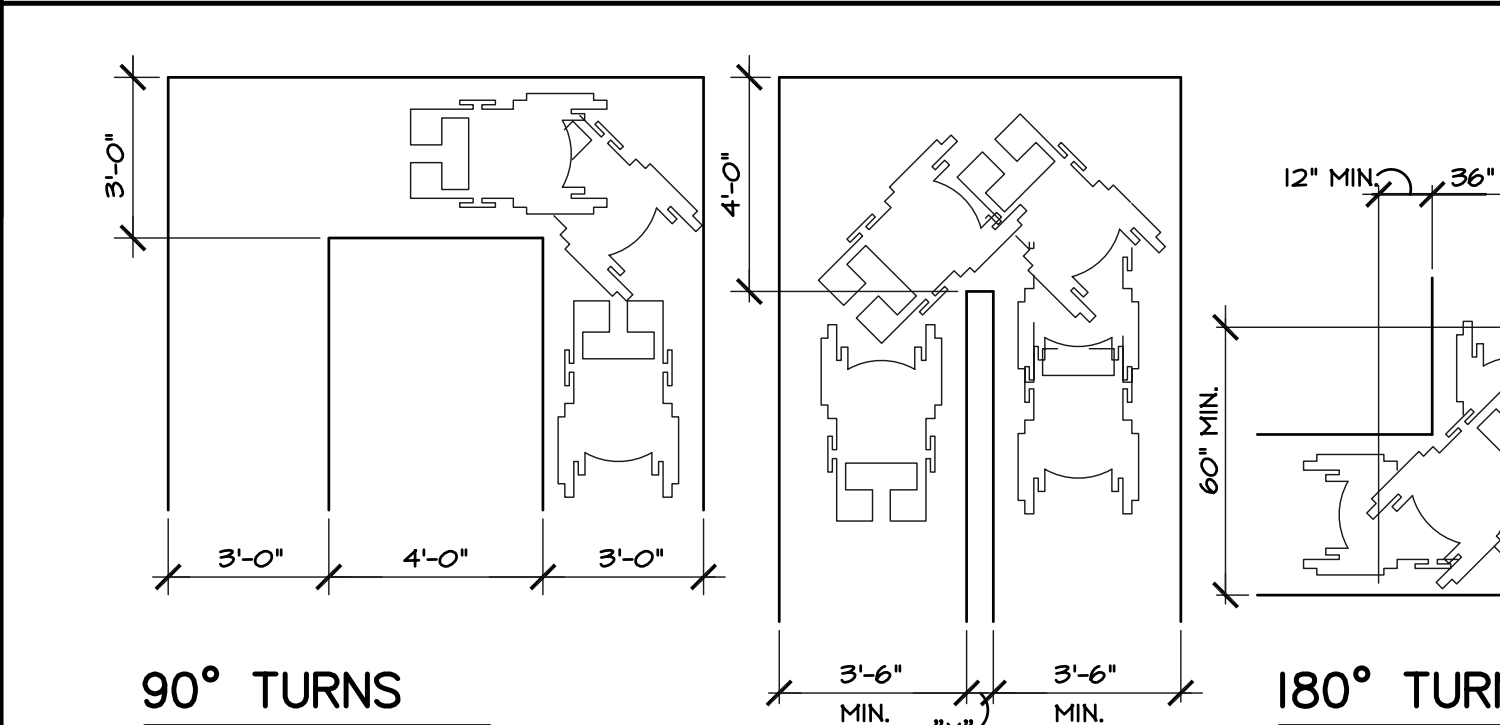
12 CONCRETE PARKING BLOCK
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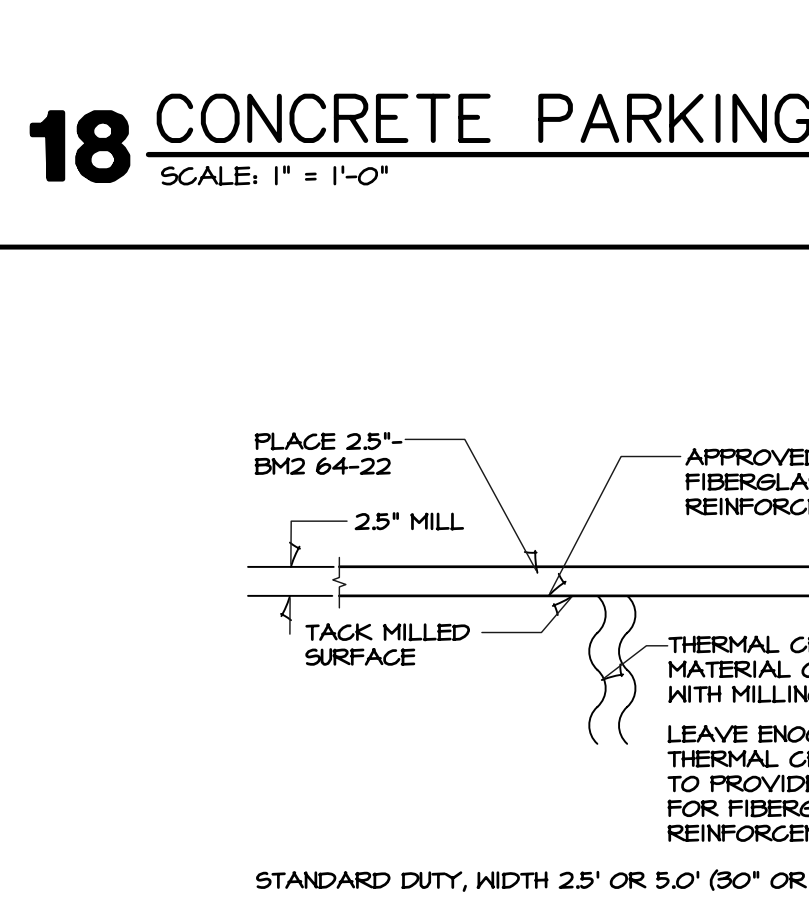
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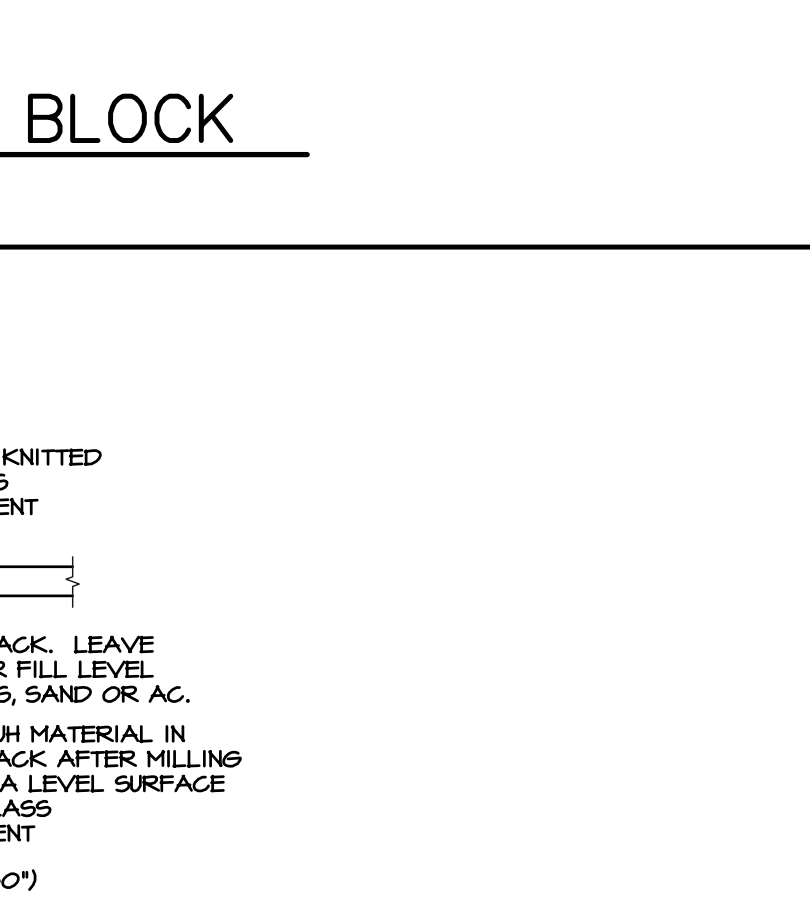
14 UNIVERSAL STALL
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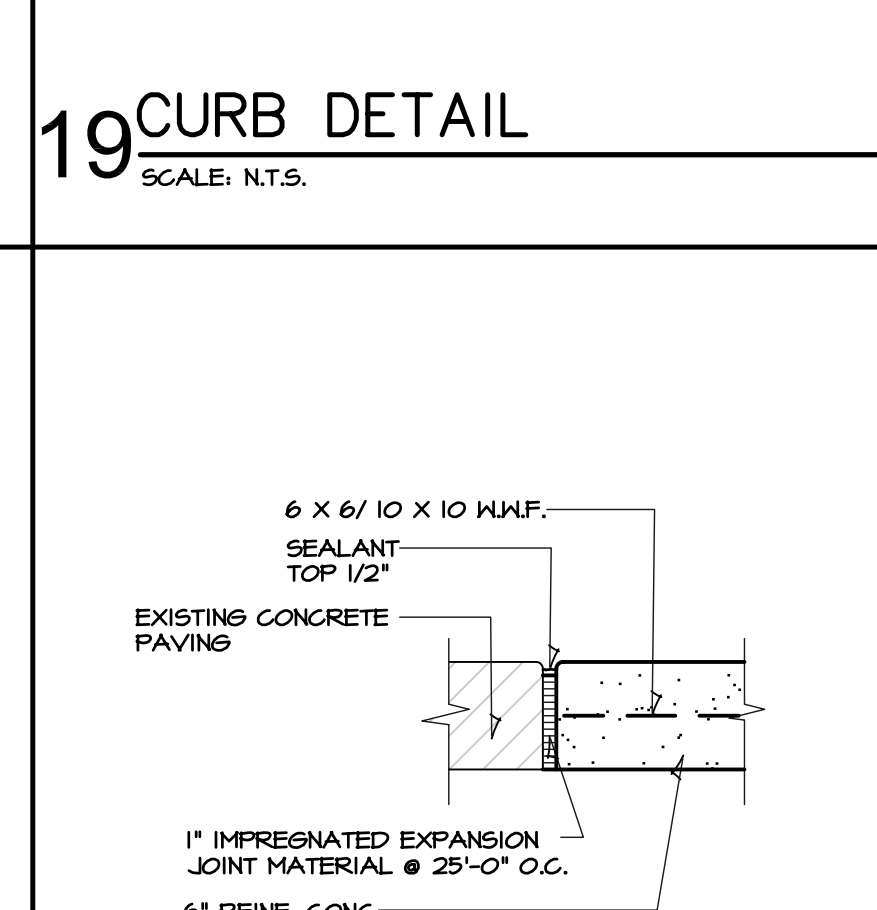
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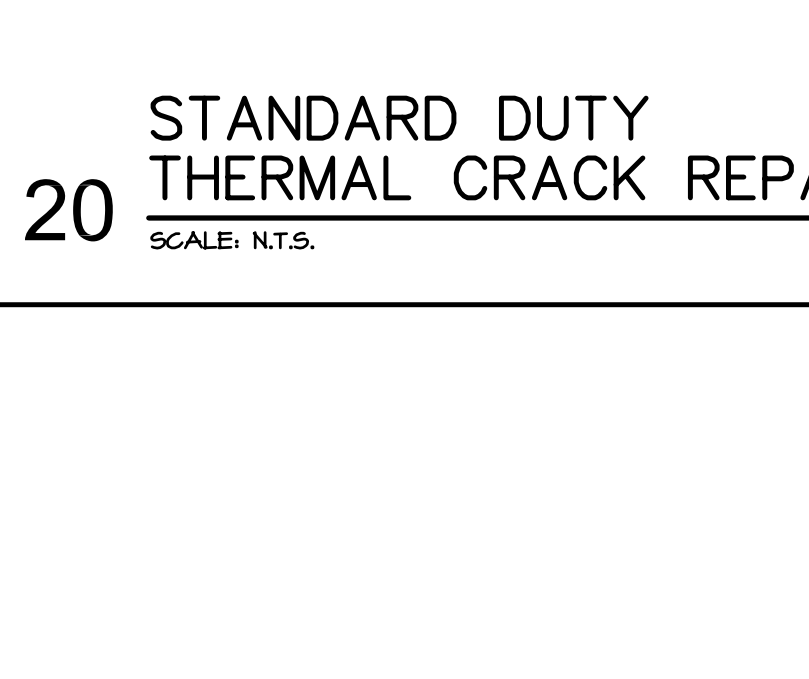
16 STANDARD DUTY THERMAL CRACK REPAIR
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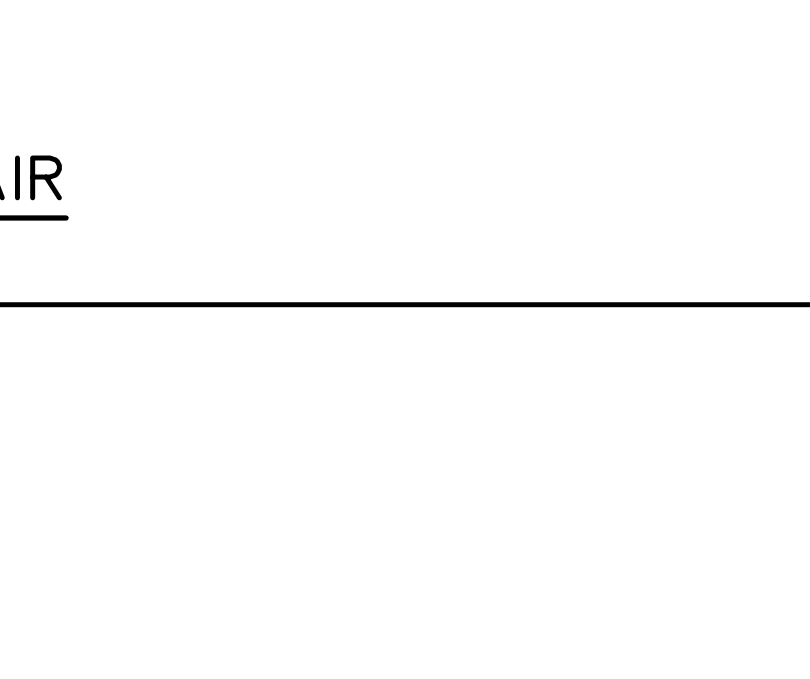
17 NEW TO EXISTING JNT
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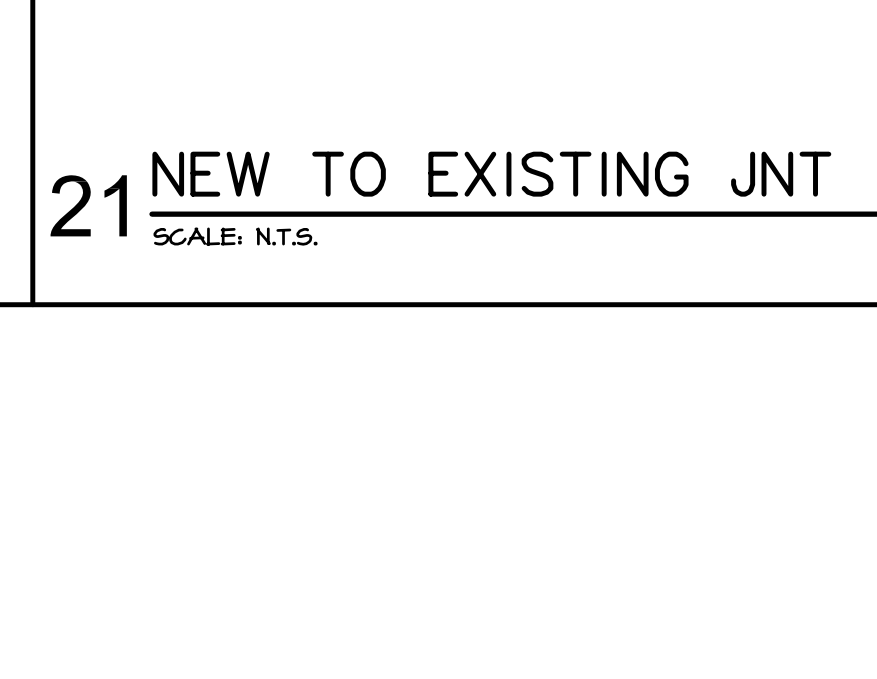
18 MANUEVERING CLEARANCES AT DOOR
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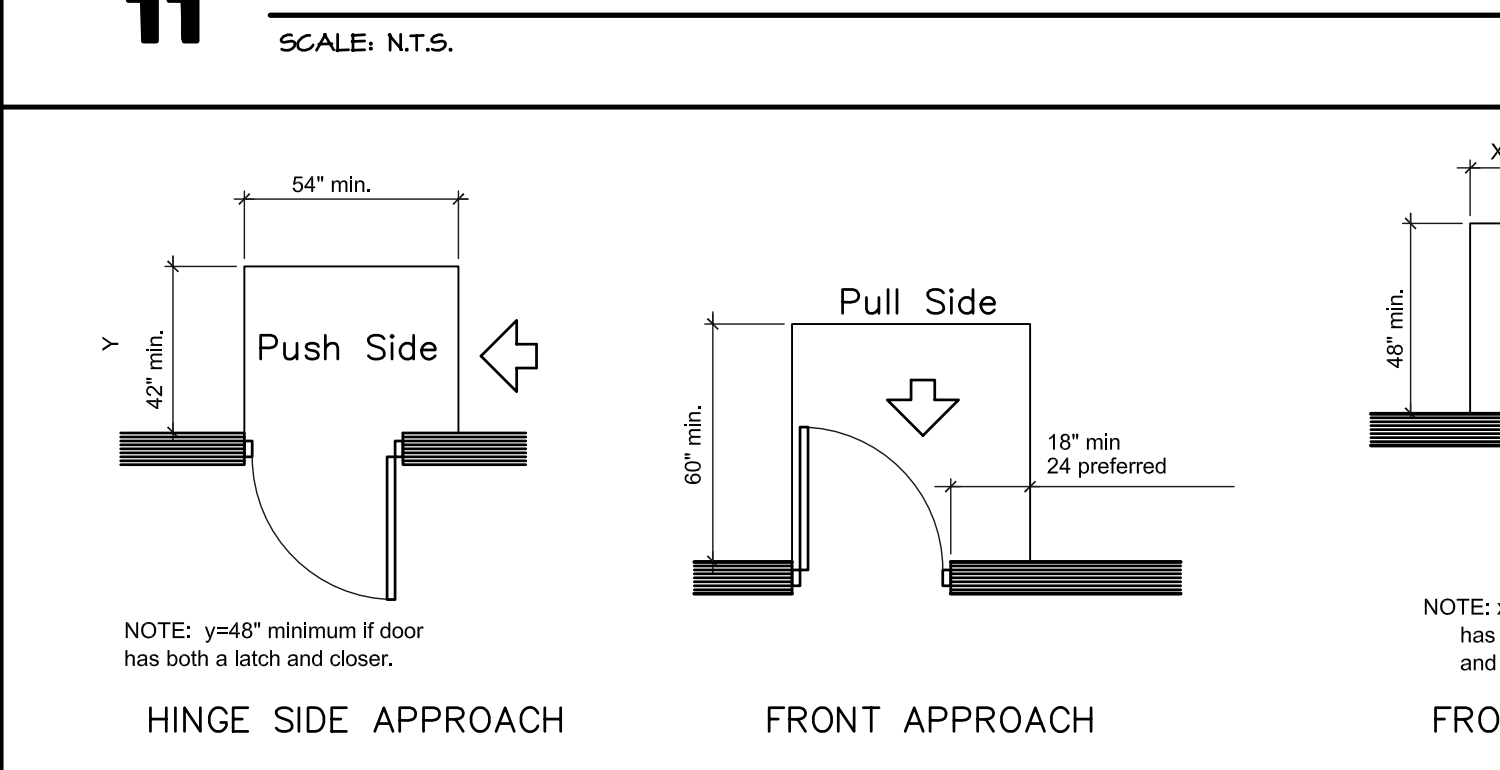
19 RAMP WALL DETAIL
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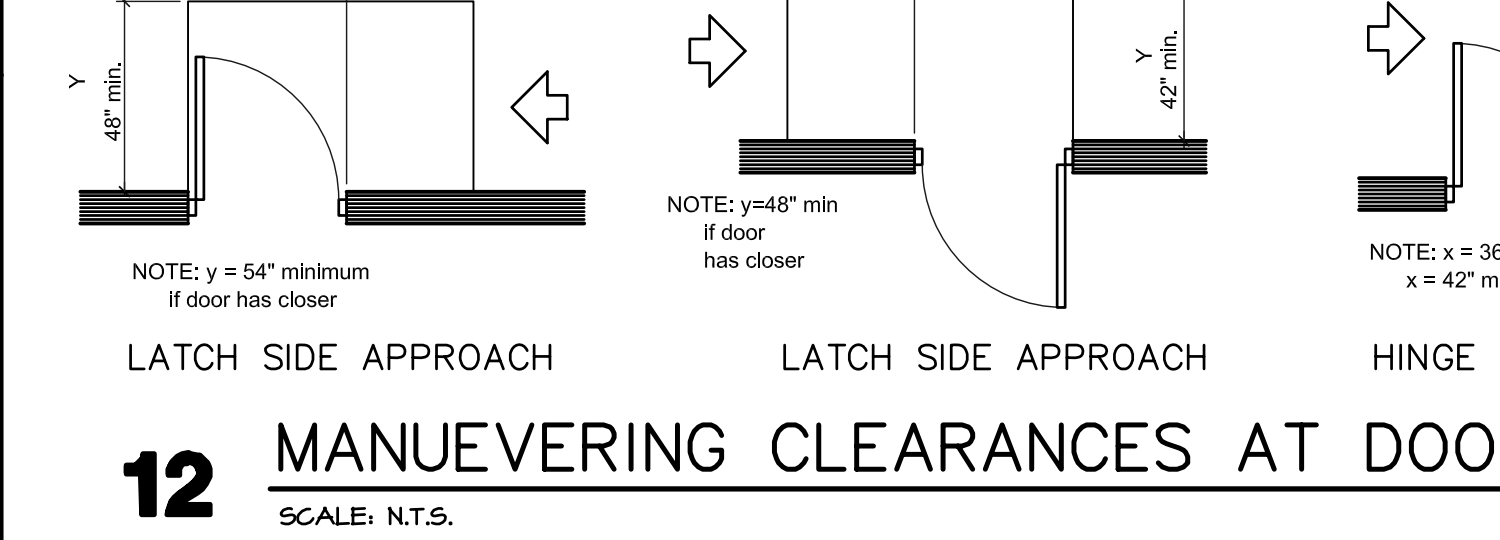
20 ACCESSIBLE PARKING SYMBOL
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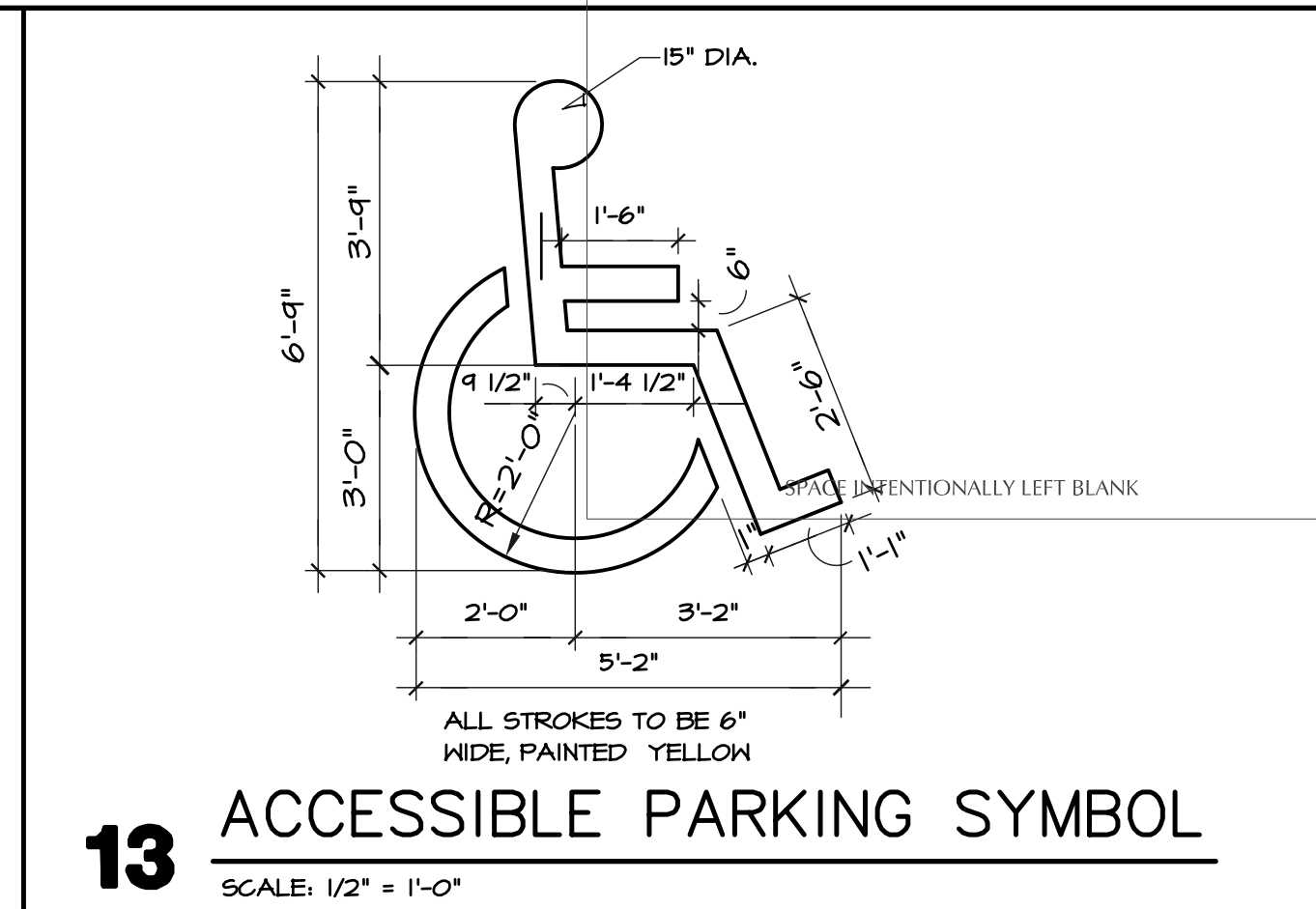
21 ACCESSIBLE PARKING SIGN
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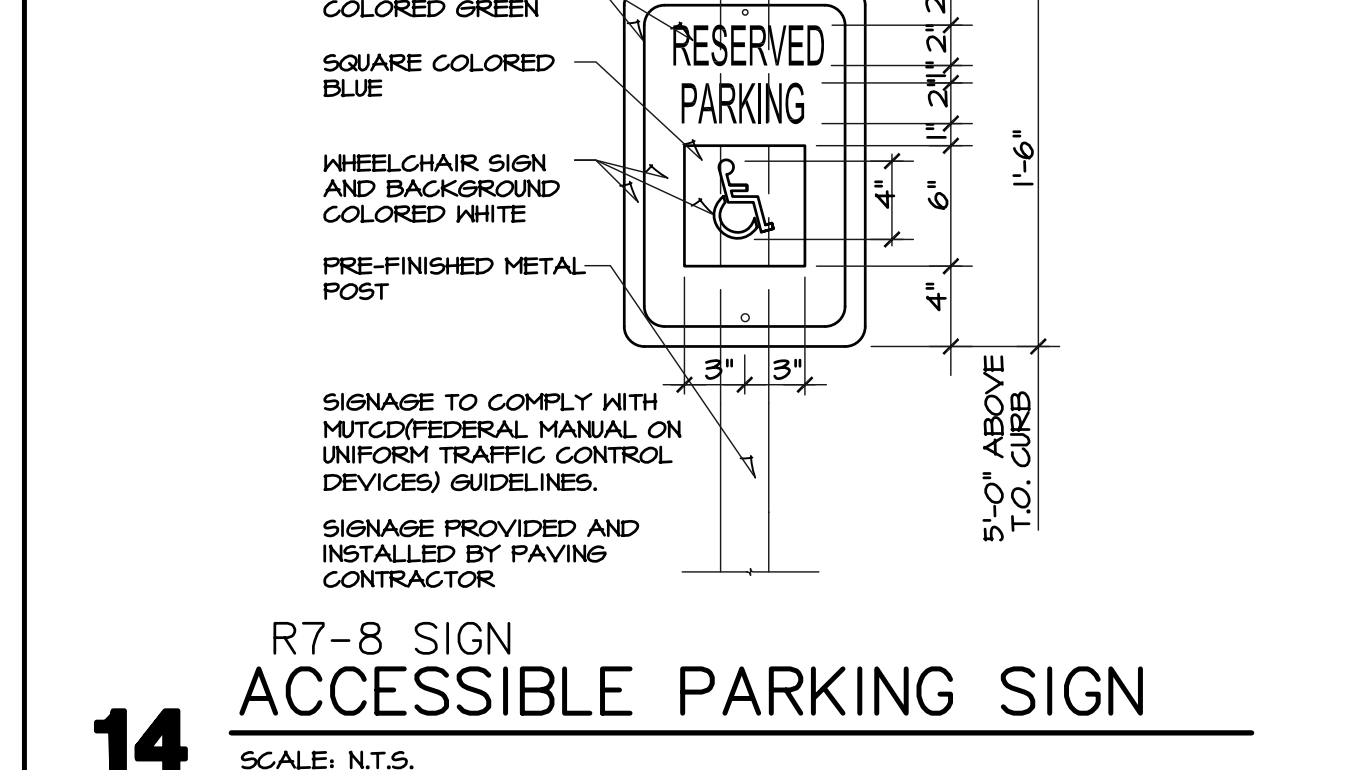
22 CONCRETE PARKING BLOCK
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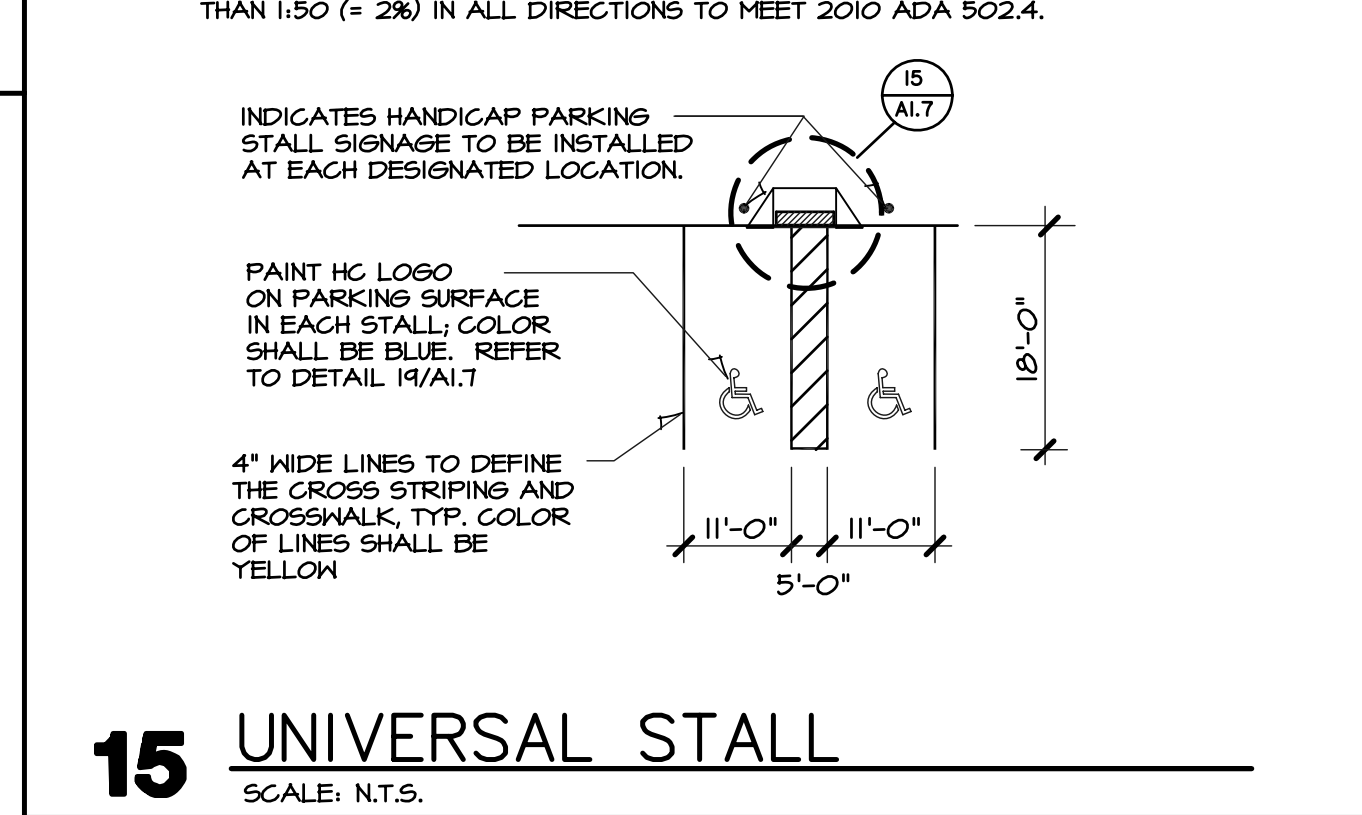
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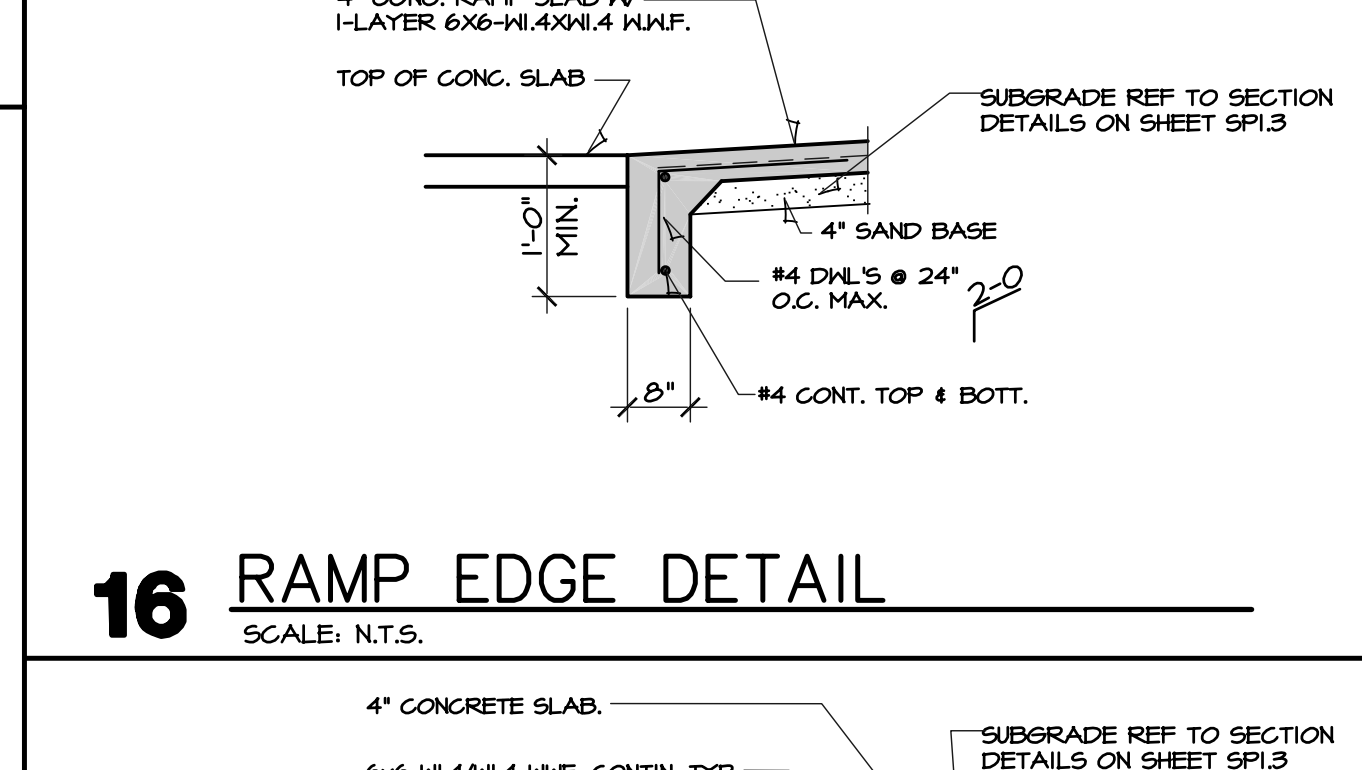
24 ACCESSIBLE PARKING SYMBOL
SCALE: 1/2\"/>



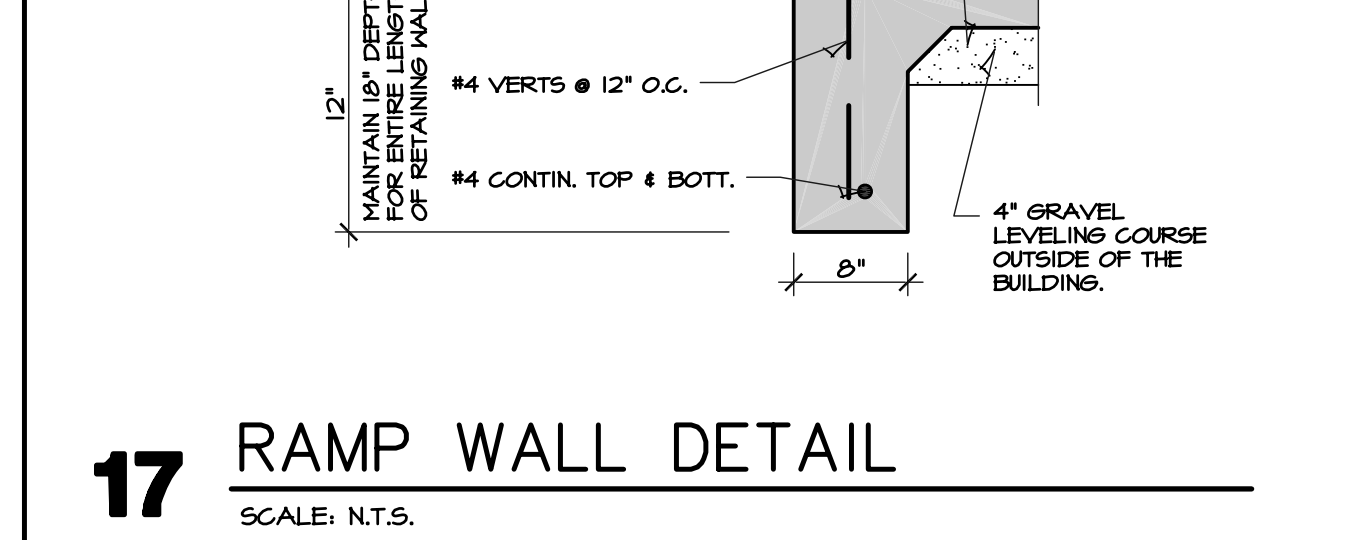
25 ACCESSIBLE PARKING SIGN
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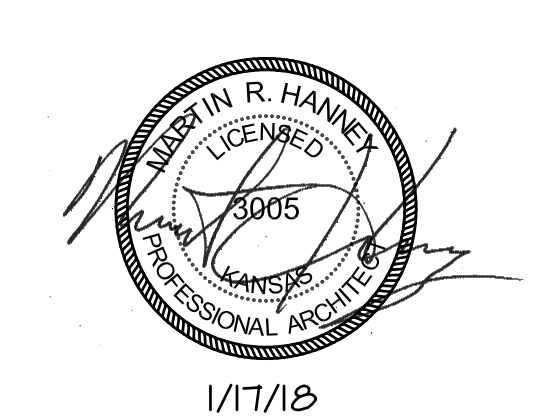
26 RAMP EDGE DETAIL
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27 RAMP WALL DETAIL
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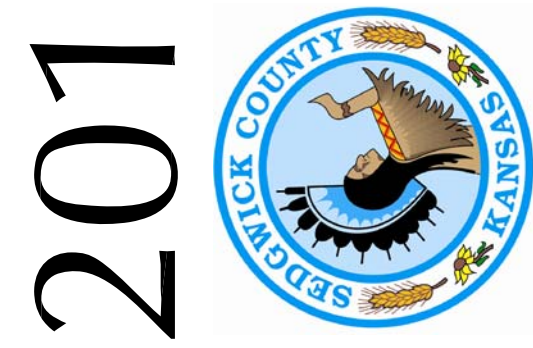


28 RAMP WALL DETAIL
SCALE: N.T.S.



HANNEY & ASSOCIATES, ARCHITECTS
1726 South Hillside, Wichita, Kansas, 67211
Phone (316) 683-8985
Fax (316) 684-1441

2018 SEDGWICK COUNTY
 EMERGENCY MEDICAL SERVICE : EMS POST 8
 501 EAST 53RD ST NORTH PARK CITY, KS



DRAWINGS ISSUED		
NO.	DATE	ITEM ISSUED
11	09/20	ADDENDUM 1
10	1/17/18	BID SET
9	11/21/17	90% PROGRESS PRINTS
8	10/17/17	PLAN REVIEW
7	4/22/17	PROJECT REVIEW
6	4/16/16	NEW WORK DIAGRAM
5	1/14/16	90% PROGRESS PRINTS
4	6/28/16	50% PROGRESS PRINTS
3	6/15/16	REVIEW
2	6/3/16	PRELIMINARY REVIEW
1	5/11/16	PROJECT REVIEW

DRAWING FILE
EM5_SPI04.dwg

DATE: NOVEMBER, 2017
DRAWN BY: CHECKED BY:

SHEET
SP1.4
OF SHEETS



HAMNER & ASSOCIATES, ARCHITECTS
1728 South Hillside, Wichita, Kansas, 67211
Phone (316) 683-8985
Fax (316) 684-1441

2018 SEDGWICK COUNTY
EMERGENCY MEDICAL SERVICE : EMS POST 8
501 EAST 53RD ST NORTH PARK CITY, KS



DRAWINGS ISSUED		
NO.	DATE	ITEM ISSUED
11	3/23/18	ADDENDA 01
10	1/17/18	BID SET
9	11/21/17	90% PROGRESS PRINTS
8	10/17/17	PLAN REVIEW
7	9/22/17	PROJECT REVIEW
6	9/16/16	NEW WORK DIAGRAM
5	7/19/16	90% PROGRESS PRINTS
4	6/28/16	50 % PROGRESS PRINTS
3	6/15/16	REVIEW
2	6/3/16	PRELIMINARY REVIEW
1	5/1/16	PROJECT REVIEW

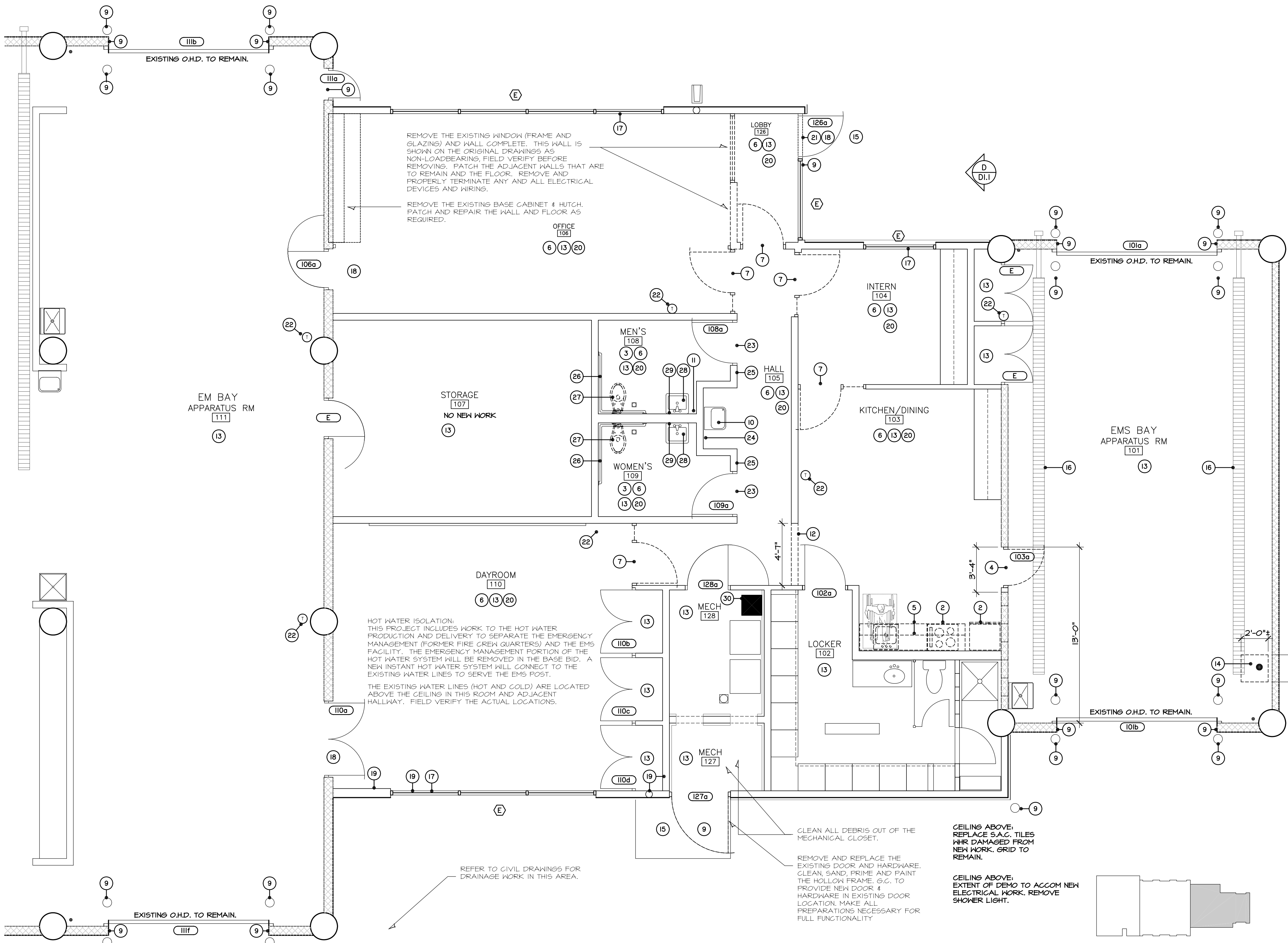
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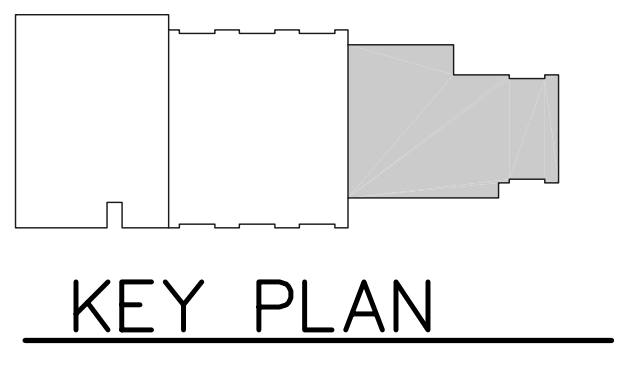
MM, TH MM
SHEET
D1.0
OF SHEETS

BASE BID DEMOLITION NOTES AND COMMENTS

- FURNITURE (EXISTING): THE COUNTY SHALL MOVE ALL FURNITURE (CHAIRS, TABLES, DESKS, ECT.) PRIOR TO THE START OF CONSTRUCTION.
- APPLIANCES (EXISTING): COUNTY TO MOVE MICRO & REFRIGERATOR. CONTRACTOR TO REMOVE RANGE. APPLIANCES ARE TO REMAIN PROPERTY OF THE COUNTY UNLESS THE COUNTY PROJECT MANGER DIRECTS OTHERWISE. THE GENERAL CONTRACTOR SHALL PROVIDE PROPER DISPOSAL OF THE APPLIANCES IF THEY ARE NOT WANTED BY THE COUNTY.
- TOILET ACCESSORIES: REMOVE THE EXISTING COAT HOOKS, PAPER TOWEL DISPENSERS, TOILET PAPER DISPENSERS, SOAP DISPENSERS, NAPKIN DISPOSAL, ETC.. REINSTALL ONCE NEW WALL FINISHES HAVE BEEN INSTALLED.
- REMOVE EXISTING DOOR & FRAME. CUT OUT MASONRY AND CONC. CURB FOR A NEW, WIDER DOOR AND FRAME. TOOTH IN MASONRY JAMB FOR FINISHED LOOK. PRIME AND PAINT WALL, FRAME AND DOOR. PATCH AND REPAIR THE FLOOR SLAB AS REQUIRED.
- CABINETRY: REMOVE BASE AND UPPER CABINETS, TOP, SINK, TILE SPLASH & CONC. TOE BASE. PATCH AND REPAIR THE WALLS AS REQUIRED, PREPARING THEM FOR NEW FINISHES.
- CEILING: REMOVE AND REPLACE WITH NEW CEILING GRID AND ACOUSTICAL TILES. REMOVE AND REPLACE THE EXISTING LIGHTS & HVAC REGISTERS, SMOKE DETECTORS, EGRESS LIGHTS ETC.. FIRE SPRINKLER HEADS TO REMAIN.
- REMOVE THE DOOR, FRAME & SIDELIGHT. PATCH AND REPAIR THE WALL AND FLOOR.
- INTENTIONALLY LEFT BLANK
- BOLLARDS (INTERIOR & EXTERIOR), EXTERIOR HOLLOW METAL DOOR AND FRAMES, AND OHD JAMBS: SAND TO REMOVE RUST, PRIME AND PAINT.
- EXISTING DRINKING FOUNTAIN TO REMAIN. CLEAN UP FIXTURE AND TRIM.
- WALL DAMAGED: THE WALL BELOW THE SINK HAS BEEN DAMAGED. THE G.C. SHALL REPAIR THE DAMAGED G.W.B. AND PREPARE THE SURFACE FOR NEW FINISHES.
- CUT NEW OPENING IN EXISTING STRUCTURAL METAL STUD WALL. PROVIDE NEW LINTEL. PATCH AND REPAIR THE JAMBS, HEAD AND FLOOR AS REQUIRED.
- EXISTING EXPOSED CONCRETE FLOOR.
- CORRODED WATER LINE: REMOVE AND REPLACE THE EXISTING FLOOR SLAB AS REQUIRED TO CUT OUT THE DAMAGED PORTION OF THE EXISTING WATER LINE. THE WATER LINE SHALL BE REPAIRED WITH MATERIAL EQUAL TO THE EXISTING. WRAP THE COPPER LINE WITH INSULATION TO PREVENT NEW CONCRETE FROM COMING DIRECTLY IN CONTACT WITH THE COPPER. THE WORK SHALL INCLUDE RE-INSULATING THE LINE AS REQUIRED, REMOVING/REPLACING MATERIAL THAT IS DAMAGED FROM THE FLOOR TO THE CEILING AT THIS LOCATION.
- EXISTING STOOP: REMOVE DEBRIS, WEEDS AT EDGE WHERE THE ADJACENT GROUND HAS WASHED OUT.
- TUBE HEATERS: REMOVE AND REPLACE THE EXISTING TUBE HEATERS. CONNECT TO EXISTING UTILITIES. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REMOVE THE EXISTING WINDOW BLINDS AND HARDWARE COMPLETELY.
- DOOR HARDWARE: THIS DOOR IS TO RECEIVE A NEW CIPHER LOCK. MODIFY THE EXISTING DOOR AS REQUIRED, REMOVING THE EXISTING LATCH SET.
- MOLD REMEDIATION: BY SEPARATE CONTRACT THE OWNER HAS HAD THE LOWER PORTION OF THE EXISTING G.W.B. AND INSULATION REMOVED. THIS CONTRACTOR SHALL REPLACE THE MISSING 6" BATT INSULATION, 6-MIL PLASTIC VAPOR BARRIER AND GYPSUM WALL BOARD. THE WORK SHALL INCLUDE MUD, SAND AND FINISH.
- RUBBER COVE WALL BASE: REMOVE THE EXISTING RUBBER COVE BASE, IN IT'S ENTIRETY, INCLUDING THE ADHESIVE. PATCH / REPAIR OR REPLACE THE EXISTING G.W.B. AS REQUIRED TO PREPARE THE WALL FOR NEW FINISH AND BASE.
- THRESHOLD: REMOVE THE EXISTING ALUM. DOOR THRESHOLD AND REPLACE WITH NEW.
- THERMOSTATS: RELOCATE WITHIN 44-48" A.F.F REACH RANGE FOR ADA COMPLIANCE. PATCH /REPAIR WALL AS REQUIRED. THIS WORK ONLY APPLIES TO THE NORTH END - EMS PORTION OF THE BUILDING.
- REMOVE THE EXISTING DOOR CLOSURES AND ADD NEW POWER ASSISTED DOOR OPENERS. PREP DOORS AS REQUIRED FOR NEW HARDWARE. PROVIDE POWER AND CONTROLS AS REQUIRED. THE EXISTING DOORS AND BALANCE OF HARDWARE ARE TO REMAIN.
- G.C. TO PROVIDE AND INSTALL A WALL MOUNTED CUP HOLDER, SEE SHEET A6J, ACCESSORIES LEGEND FOR ADDITIONAL INFO.
- REMOVE THE EXISTING TOILET ROOM SIGNAGE. PATCH AND REPAIR THE WALL AS REQUIRED. PROVIDE AND INSTALL NEW TOILET ROOM SIGNAGE AS NOTED ON SHEET A1.4
- REMOVE THE EXISTING GRABS, SAVE FOR RE-INSTALLATION ONCE THE NEW WALL FINISHES HAVE BEEN INSTALLED. TAKE CARE TO INSURE PROPER INSTALLATION THAT IS COMPLIANT WITH THE ADA.
- REMOVE THE EXISTING WATER CLOSET TO ALLOW THE INSTALLATION OF THE NEW FLOORING. PROVIDE NEW WATER CLOSET IN ACCORDANCE WITH 2010 STANDARDS FOR ACCESSIBLE DESIGN IN EXISTING W.C. LOCATION
- REMOVE THE EXISTING WALL HUNG SINK. RE-INSTALL ONCE NEW WALL FINISHES HAVE BEEN INSTALLED. CLEAN THE SINK BEFORE RE-INSTALLATION. PROVIDE AND INSTALL NEW FAUCETS, TRIM AND SHUT-OFF VALVES. RECONNECT TO EXISTING PLUMBING LINES AND INSULATE LINES.
- REMOVE THE EXISTING MIRRORS, RE-INSTALL ONCE THE NEW WALL FINISHES HAVE BEEN INSTALLED. PROVIDE NEW MIRRORS IF EXISTING ARE DAMAGED IN THE REMOVAL.
- NEW INSTANT HOT WATER UNIT TO BE MOUNTED TO WALL. RELOCATE EQUIPMENT AND DEVICES AS NECESSARY FOR PROPER INSTALLATION. PROVIDE UTILITY CONNECTIONS, INCLUDING POWER AND WATER.



BASE BID NORTH AREA - PARTIAL PLAN
SCALE: 1/4" = 1'-0"
NORTH



SPACE INTENTIONALLY LEFT BLANK

Firms interested in submitting a bid, must respond with complete information and **deliver on or before 1:45 p.m. CDT, April 3, 2018**. Late bids will not be accepted and will not receive consideration for final award.

“PLEASE ACKNOWLEDGE RECEIPT OF THIS ADDENDUM ON THE BID RESPONSE PAGE.”

A handwritten signature in black ink that reads "Kimberly Bush". The signature is written in a cursive, flowing style.

Kimberly Bush, CPPB
Purchasing Agent